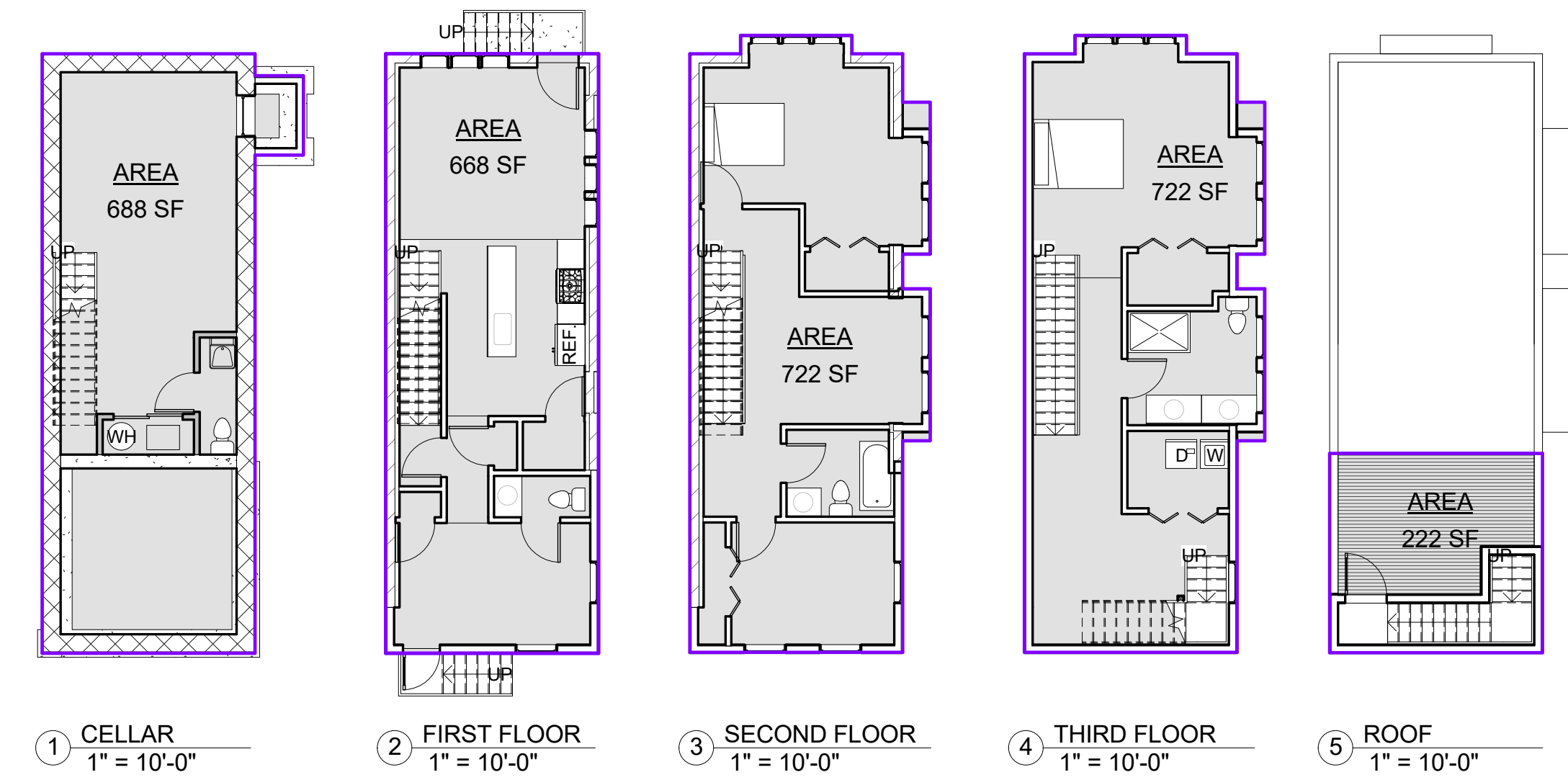


# 2661 EAST HUNTINGDON STREET

PHILADELPHIA PA, 19125

INTERIOR & EXTERIOR ALTERATIONS WITH REAR & THIRD STORY ADDITIONS & ROOF DECK TO EXISTING TWO STORY SINGLE-FAMILY DWELLING WITH BASEMENT



## ARCHITECT

### PLATO MARINAKOS, JR.

1628 JFK BLVD, SECOND FLOOR  
PHILADELPHIA, PA 19103

TEL: (610)-207-7678  
TEL: (267)-639-2932

## OWNER

### GOLD DIG, LLC.

134 SPRINGTON LAKE ROAD  
MEDIA, PA 19063

## CONTRACTOR

### UNIVERSAL BUILDING & CONSTRUCTION, LLC.

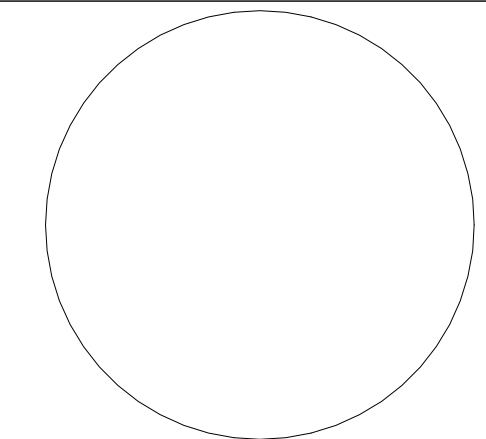
1511 LINDENHURST RD  
YARDLEY, PA 19067



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plato@plato-studio.com



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OWNER

Universal Builders

CODE ANALYSIS	
<b>BUILDING CODE:</b>	INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) PHILADELPHIA FIRE CODE 2010 CITY OF PHILADELPHIA BUILDING CODE 2010
<b>USE GROUP:</b>	R-3
<b>CONSTRUCTION TYPE:</b>	VB
<b>FIRE SUPPRESSION:</b>	NO SPRINKLERS PER 2009 INTERNATIONAL EXISTING BUILDING CODE PRESCRIPTIVE METHOD
<b>SCOPE OF WORK:</b>	<ul style="list-style-type: none"> <li>INTERIOR &amp; EXTERIOR ALTERATIONS TO AN EXISTING TWO STORY DWELLING</li> <li>ADDITION OF A 3RD STORY</li> <li>REAR ADDITION</li> <li>ROOF DECK WITH PILOT HOUSE</li> </ul>

SYMBOL LEGEND		
<b>ROOM NAME</b> 101 150 SF	<b>FIRE EXTINGUISHER</b> FE	<b>LEVEL</b> XXXXXX X'-X"
<b>ROOM INDICATION</b> A5.1	<b>EXIT SIGN</b> XX	<b>ALIGN W/ EXISTING CONSTRUCTION</b> A
<b>SECTION &amp; ELEVATION INDICATION</b> A5.1	<b>REVISION DELTA</b> 4R	<b>COLUMN NUMBER</b> 11
<b>DOOR SYMBOL</b> A4	<b>PARTITION TYPE SYMBOL</b> 00 0000.00	<b>WINDOW NUMBER</b> X'-X"
<b>DETAIL AREA INDICATION</b> 1 A4	<b>KEYNOTE</b> 00 0000.00	<b>DIMENSIONS ARE TAKEN FROM TO FINISH SURFACE UNLESS OTHERWISE NOTED</b>

SHEET #	SHEET NAME	Sheet Issue Date	Revision Date
A-00	COVER SHEET		
A-01	SPECIFICATIONS		
A-100	FLOOR PLANS		Date 2
A-101	PARTITION TYPES		Date 2
A-102	REFLECTED CEILING PLAN		
A-103	ROOF PLAN		Date 2
A-104	DEMO PLANS	12/04/15	
A-105	FRAMING PLANS		Date 2
A-200	ELEVATIONS		
A-201	ELEVATION	02/06/14	
A-300	WALL SECTIONS		Date 2
A-500	DETAILS		
A-501	DETAILS	12/04/15	Date 2
A-600	SCHEDULES & DIAGRAMS		
Z-100	ZONING	12/07/15	12/01/16

## ABBREVIATIONS

ABV	ACOUS	ACT	ADDD	ADH	ADJ	AFF	AFG	AGG	ALT	ALUM	ANCH	APPLIC	BET	BLDG	BLK	BM	BRG	BRK	BSMT	CAB	CC	CF	CJ	CL	CLG	CLR	CMU	CO	COL	COMP	CONC	CONT	CPT	CT	CU	DBL	DET	DIA	DIM	DN	DR	DS	DTL	DW	EA	EL	ELEC	ELEV	EQ	EW	EXF	EXG	EXP	FDP	FDN	FG	FIN	FR	FRM	FT	FTG	GA	GALV	GEN	GL	GRT	GWB	GYP	HDWD	HM	HORIZ	HP	HR	HT	IN	INSUL	INT	INV	JB	JT	JUN	JOINT	LAM	LAV	LT	WT	MANUF	MAT	MAX	MECH	MET	MH	MIN	MTD	NA	NIC	NOT	OPPOSITE	ON	OP	OPNG	OPP	P/T	PC	PL	PLAS	PLWD	PNT	PNTD	PORC	PROP	RAD	RD	RE	REC	REF	REINF	REQD	RES	RES	REV	RM	RO	SAN	SCHED	S-CONC	SD	SEC	SIM	SPEC	SQ	SS	STD	STL	STOR	STR	STRUCUT	SUSP	SV	TBD	TBS	TELE	TEMP	THRU	TOP	TOP	TYP	UNFIN	UNO	UR	UTIL	VCT	VENT	VERT	VF	VWB	VWB	W	W	WC	WD	WD	WH	WR	TO BE DETERMINED	TO BE SELECTED	TELEPHONE	TEMPORARY	THROUGH	TOP OF FOOTING	TOP OF PARAPET	TYPICAL	UNFINISHED	UNLESS OTHERWISE NOTED	URINAL	UTILITY	VENT	VINYL COMPOSITE TILE	VERTICAL	VENTILATION FAN	VINYL WALL BASE	WITH	WITHOUT	WOOD CLOSET	WOOD	STACKED WASHER/DRYER	WATER HEATER	WATER RESISTANT
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## GENERAL CONDITIONS

General Conditions

- Project Name: 2661 East Huntingdon Street Philadelphia, Pennsylvania 19125
- Project Summary: Interior & exterior alterations with rear & third story additions & roof deck to existing two story single-family dwelling (3,022 SF)
- Current Code: International Residential Code 2009 or latest version
- Allowances and Unit Prices (to be determined)
- Contract Forms Owner Contractor Agreement: AIA A101-1987 or latest version
- General Conditions: AIA A201-1987 or latest version
- Project Meeting Pre-Construction Conference Attendance by Owner, Contractor Architect
- Progress Meetings: Every two weeks or as directed by owner attendance by Owner, Architect, and Contractor etc.
- Project Submittals: Three copies of product data and warranties, two representative units of samples sent to architect for review and approval. G.C. allow 10 working days for architect to review and process each submittal.
- Temporary Utility Service: Use of Owner's existing utility services.
- Temporary Facilities: Provide temporary construction, support facilities, and security measures
- All codes having jurisdiction shall be observed strictly in the conviction of the project, including all applicable city and state, zoning, building, electrical, fire mechanical and plumbing codes.
- All contractor(s) performing work shall have applicable licenses.
- Contractor shall follow all current OSHA safety regulations.
- Details and sections on the drawings are shown at specific locations and are intended to show general requirements throughout. Details noted "typical" or "TYP" imply all conditions treated similarly. Modifications to be made by the contractor to accommodate minor variations.
- All dimensions indicated on the drawings are from finished face unless otherwise noted.
- Refer to Civil Drawings for all finished 1st floor elevations. Architectural finished 1st floor will be 0'-0".
- All drawings shall be fully coordinated by the contractor to verify all dimensions locate depressed slabs, slopes, drain outlets recesses, registers, bolt settings, sleeves, etc. Do Not scale drawings.
- The contractor shall verify and protect all service and utility lines and existing site area from deterioration or damage.
- The Architect/Engineer shall not be responsible for the safety and construction, procedures, techniques, or the failure of the builder to carry out the work in accordance with the drawings, specifications, or required codes, including all OSHA regulations.
- Contractor shall obtain all necessary building permits as well as all mechanical, electrical, and plumbing permits.
- Contractor is to have applicable insurance as required by the building owner.
- Contractor is responsible for notifying the building inspector a minimum of 24 hours prior to commencing with work. Contractor is responsible for contacting the building inspector for any/all required inspections for the duration of the project.
- Contractor shall bring errors and omissions in the Contract Documents found in the field, which may occur, to the attention of the Architect and Owner in writing and written instructions shall be obtained before proceeding with the work. The contractor will be held responsible for the results of any errors or discrepancies in the Contract Documents that are the result of unforeseen field conditions of which the Contractor failed to notify the Architect before construction and/or fabrication of the work.
- The contractor and Sub-contractor shall verify all dimensions and job conditions at the job site sufficiently in advance of work, to be performed to assure the orderly progress of the work and notify architect immediately regarding any discrepancies between field conditions and architectural documents.
- Contractor is responsible for providing required site fencing around perimeter of job site as per OSHA guidelines.
- Contractor is responsible to acquire any/all street and sidewalk closure permits as well as any required dumpster permits.
- Contractor is responsible to provide portable job toilet and telephone on site for the duration of the project (as required by owner)
- Contractors shall maintain the premises clean and free of trash, debris and shall protect all adjacent work from damage soiling paint overspray, etc. Contractor to provide daily clean-up to site dumpster. All fixtures equipment, glazing floors, etc. shall be left clean and ready for occupancy upon completion of the project.
- Design documents signed and sealed by an engineer and shop drawings are required for mechanical, plumbing, electrical systems, fire alarm, and fire protection systems to be submitted by the contractor.
- All manufacturer's printed warnings and/or directions for handling products must be strictly observed. Any items not compatible with substrate shall be isolated as per manufactures' recommendations
- Contractor shall supply and install emergency lighting and exit signs as required by code and in all locations approved by the local fire marshal and or building code official and whether they are shown or not shown on the contract documents.
- Contractor shall supply and install fire extinguishers and smoke detectors as required by code and in all locations approved by the local fire marshal and or building code official and whether they are shown or not shown on the contract documents.
- All codes trades standards, and manufacturer's instructions referenced in the Contract Documents shall be the latest edition.
- The Contractor shall make no structural changes without written approval of the Architect/Engineer.
- No Blasting shall be permitted without prior written approval.
- Use properly designed shoring, bracing, underpinning, etc. as necessitated by conditions or as required. It is the Contractor's sole responsibility to determine erection procedure and sequence to ensure the safety of the building and its components parts during erection.
- Brace all walls during construction to prevent damage from wind, water, earth, pressure and construction loads until all supporting elements are in place and are of sufficient strength.
- No opening shall be placed in any structural member (other than as indicated on approved shop drawings) until the location has been approved by the Structural Engineer.
- Provide sleeve layouts for all pipes and electrical penetrations through structural members (All trades are included). Layouts are to be submitted to the engineer for approval prior to construction.
- Contractor shall provide fire stopping at all penetrations through rated assemblies. Firestopping location are not located on the drawing. Each Prime contractor shall provide firestopping for their own work. Provide all Underwriters Laboratories UL tested assemblies
- Support Air conditioning units compressors and other roof mounted or suspended equipment only on joists, trusses or beams designed for that purpose. If no support has been designed (or if a question arises) notify the Architect prior to the erection of the equipment and before the structural erection is complete.
- Contractor shall provide for dewatering as required during excavation.
- Should the contractor seek approval of a product other than shown with in the specifications the contractor shall furnish written evidence that the proposed product conforms in all respects to the specified product.
- Each contractor shall fully review the complete set of contract documents as some work of each prime contractor may be shown throughout the documents.
- No products containing asbestos or other hazardous material shall be installed on this project or used during the construction of the project
- The risk of loss of items saved on the site shall be each contractor responsibility. The contractor shall provide the appropriate insurance coverage
- Contractor shall provide recommendations. Access to

2661 E Huntingdon

## COVER SHEET

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker
<b>A-00</b>	
Scale	As indicated



**PLAN NOTES**

NOTE: PROVIDE R-19 BATTE INSULATION TYP WITH VAPOR BARRIER ON WARMSIDE OF WALL BEHIND THE DRYWALL AT ALL EXTERIOR WALL TYP

NOTE: PROVIDE R-38 BATTE INSULATION AT ALL ROOF LOCATIONS ( AT PARTIAL ROOFS)

NOTE: SEE A-7 FOR WALL PARTITIONS TYPES

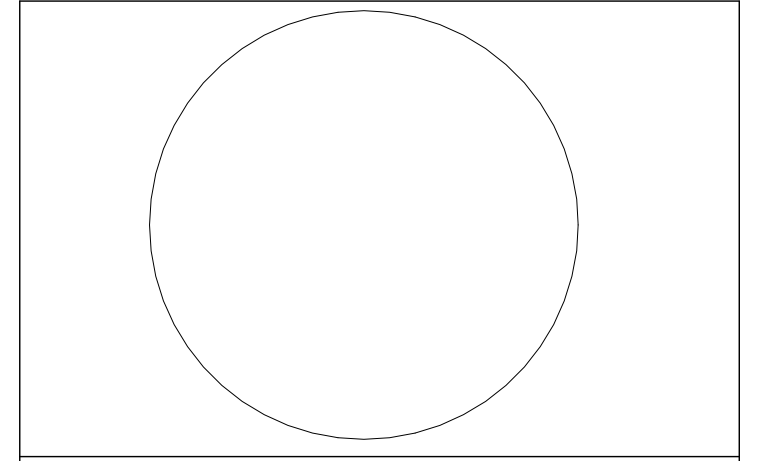
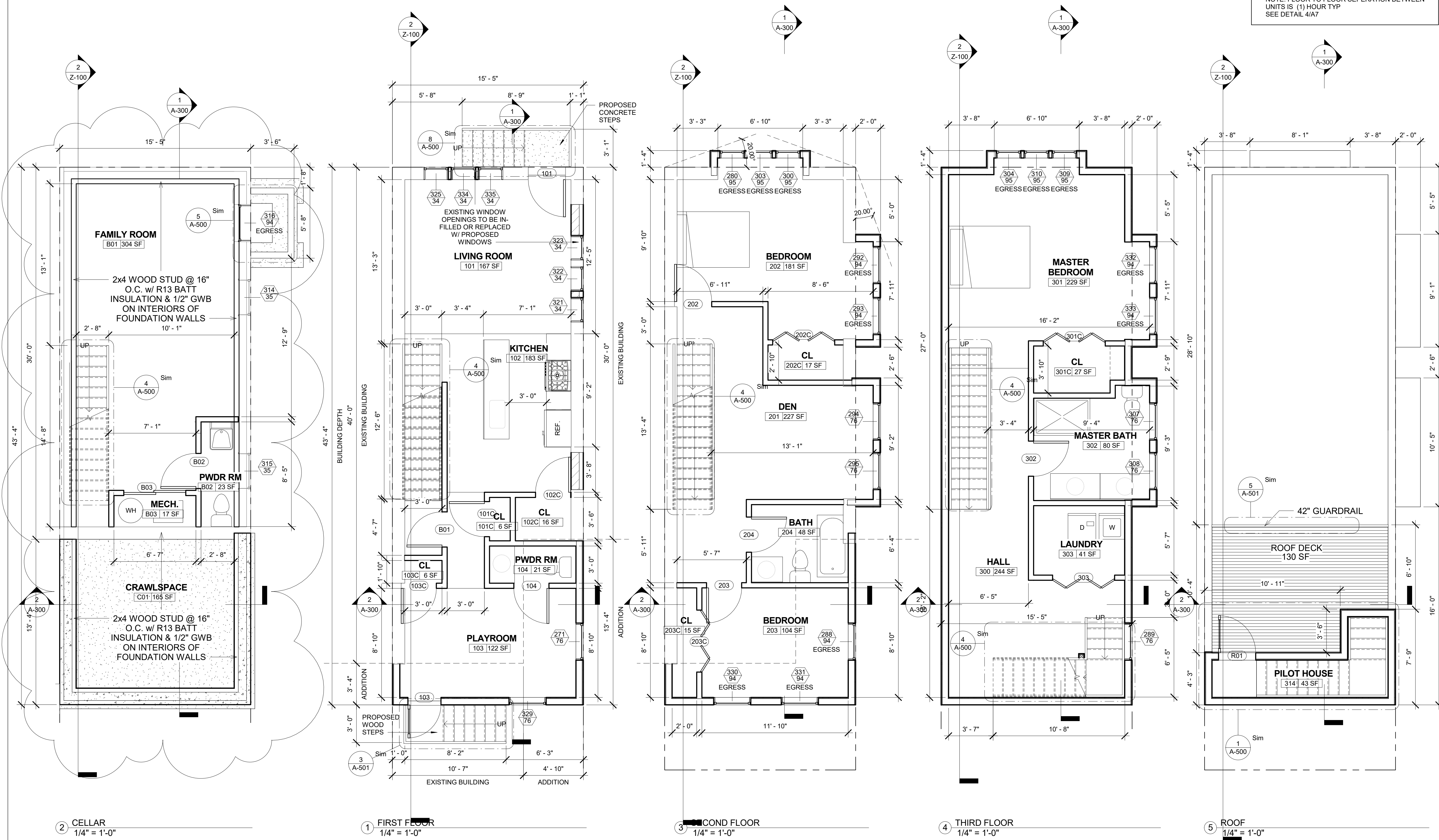
NOTE: FLOOR TO FLOOR SEPERATION BETWEEN UNITS IS (1) HOUR TYP SEE DETAIL 4/A7

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plato@plato-studio.com



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No.	Description	Date
2	Comment Letter	Date 2

2661 E Huntingdon

**FLOOR PLANS**

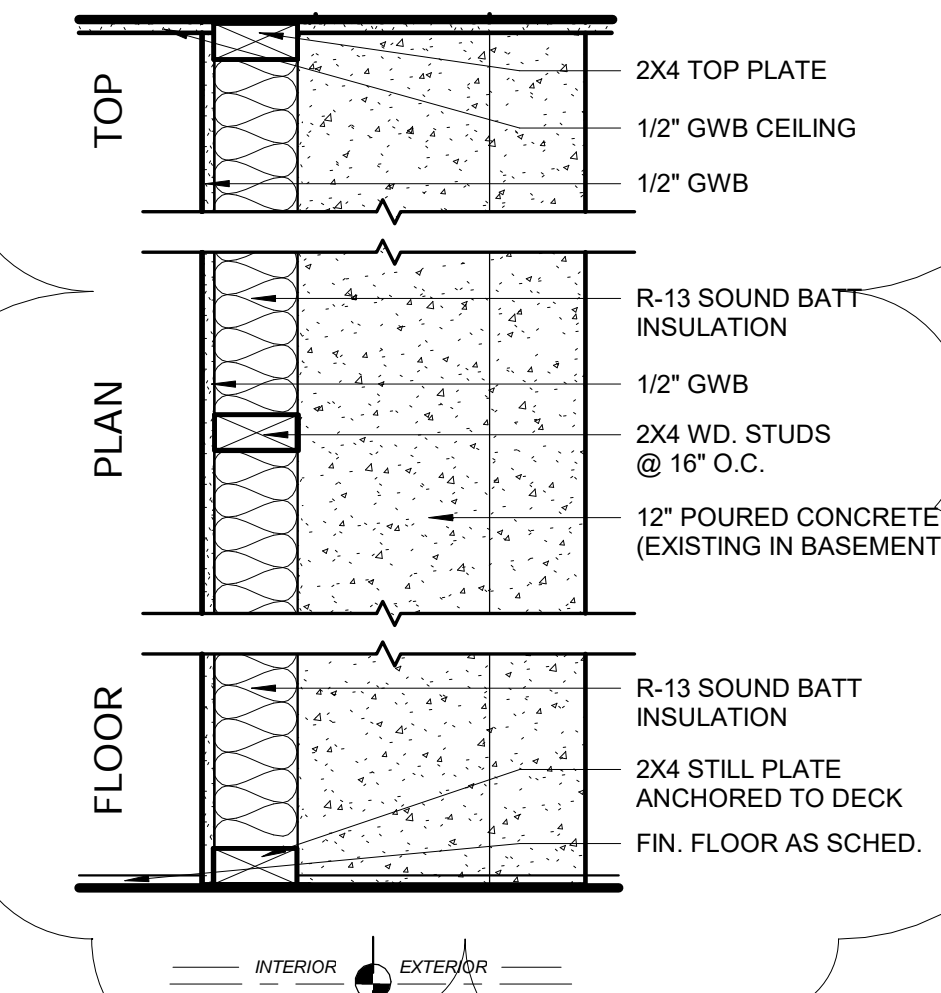
Project number \_\_\_\_\_ Project Number \_\_\_\_\_  
 Date \_\_\_\_\_ Progress Print 01.29.15  
 Drawn by \_\_\_\_\_  
 Checked by \_\_\_\_\_ Checker \_\_\_\_\_

**A-100**

Scale 1/4" = 1'-0"

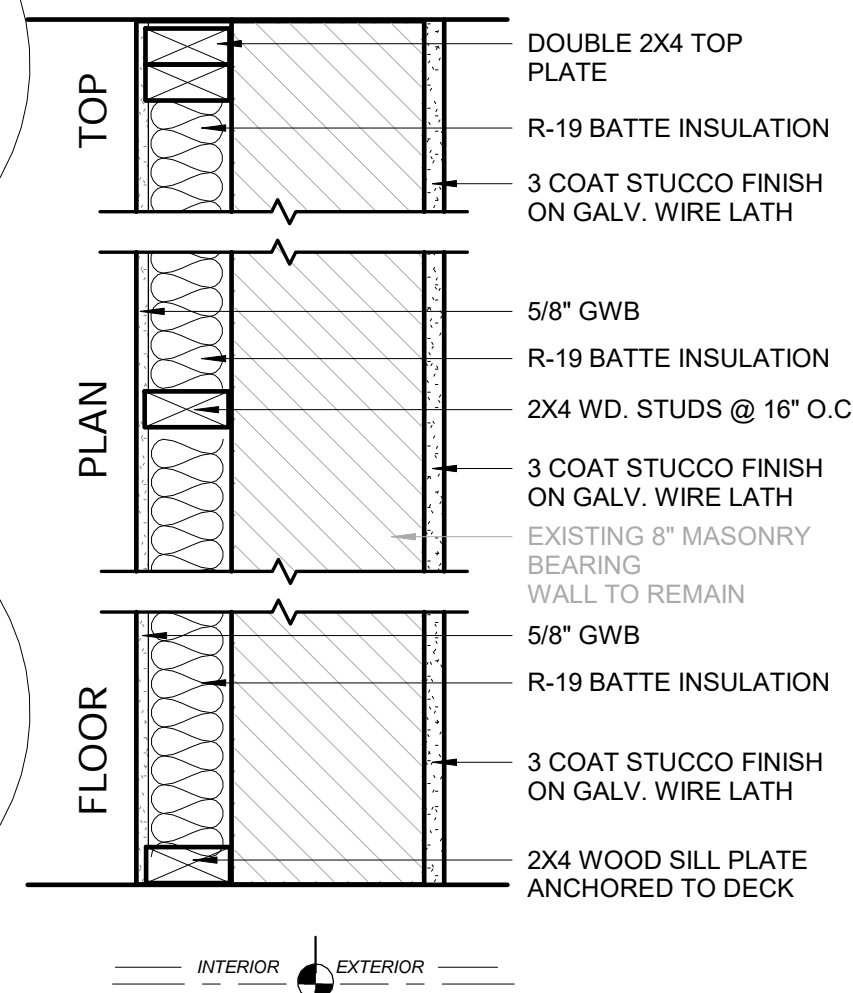
### FOUNDATION WALLS

**F1**  
BASEMENT/CRAWLSPACE WALLS  
(12" POURED CONCRETE, 2"x4" WOOD STUD)

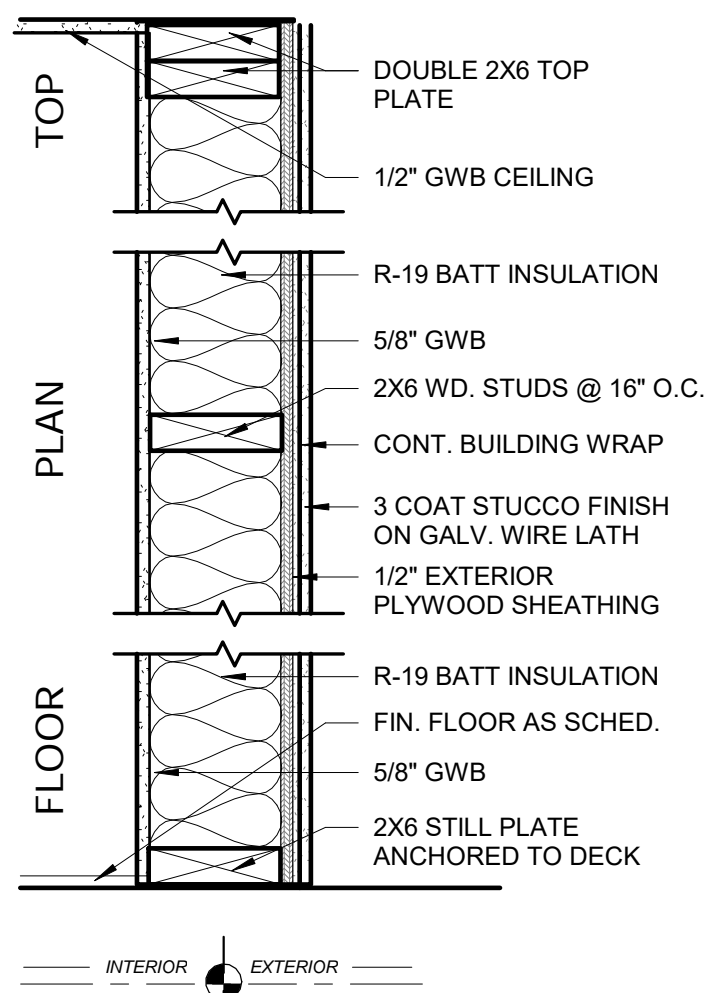


### EXTERIOR PARTITIONS

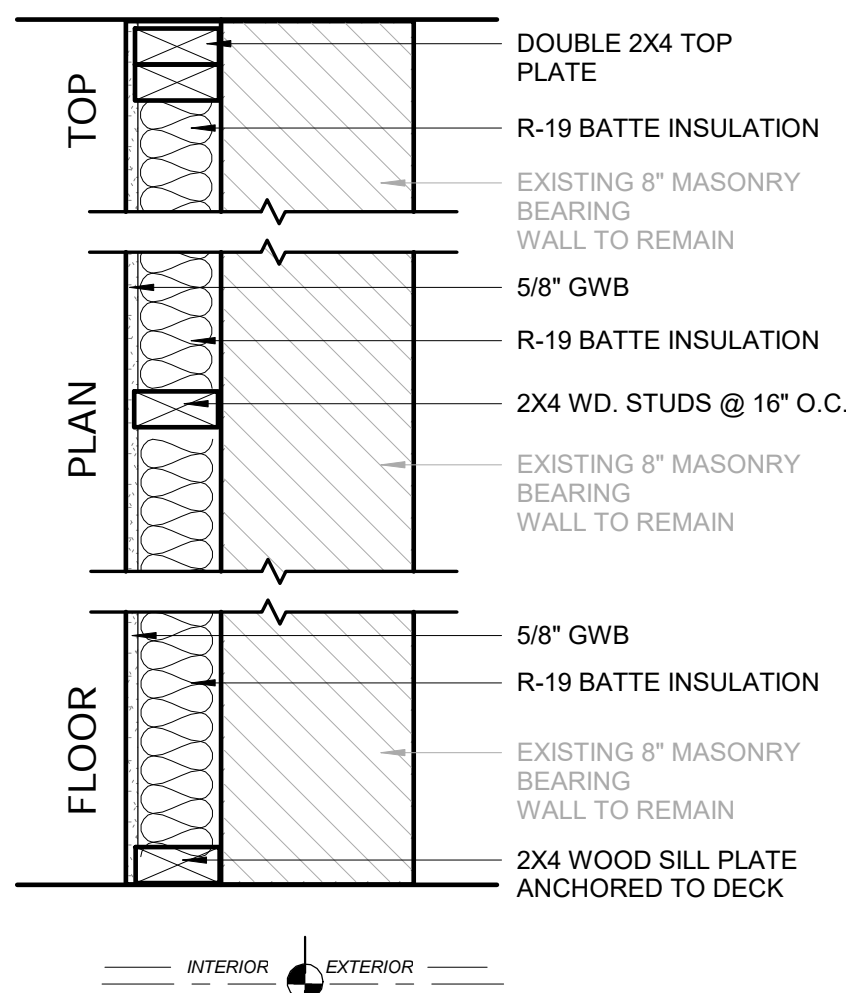
**W1**  
EXTERIOR BRICK WALL W/ STUCCO  
(2"x4" WOOD STUD)



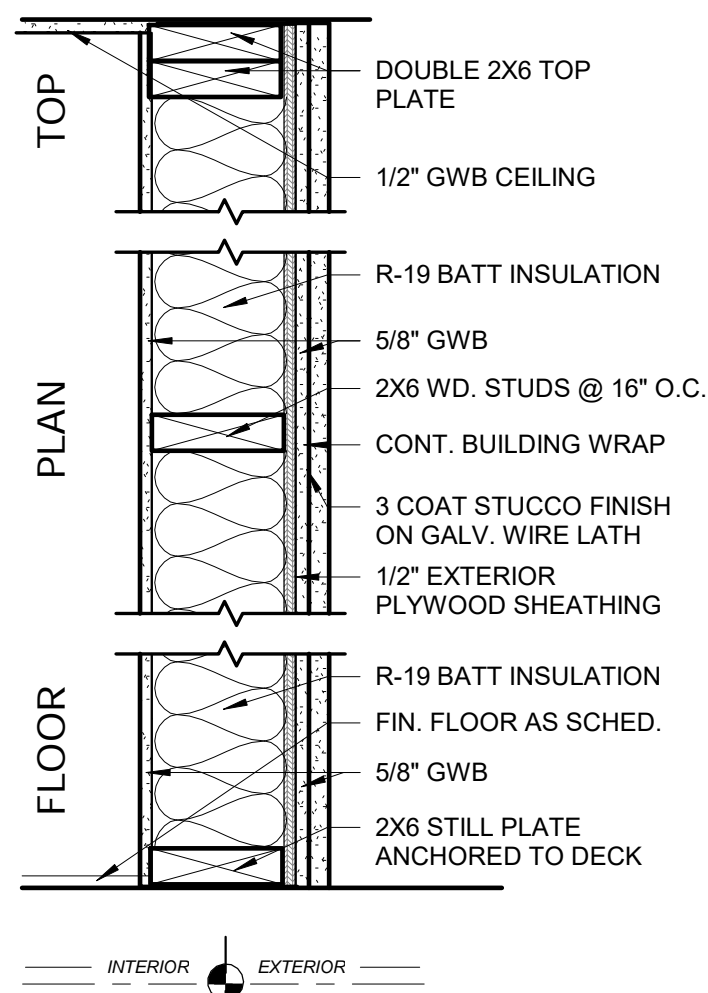
**W2**  
EXTERIOR WALL W/STUCCO  
(2"x6" WOOD STUD)  
UL DESIGN 348



**W3**  
BRICK PARTY WALL  
(2"x4" WOOD STUD)

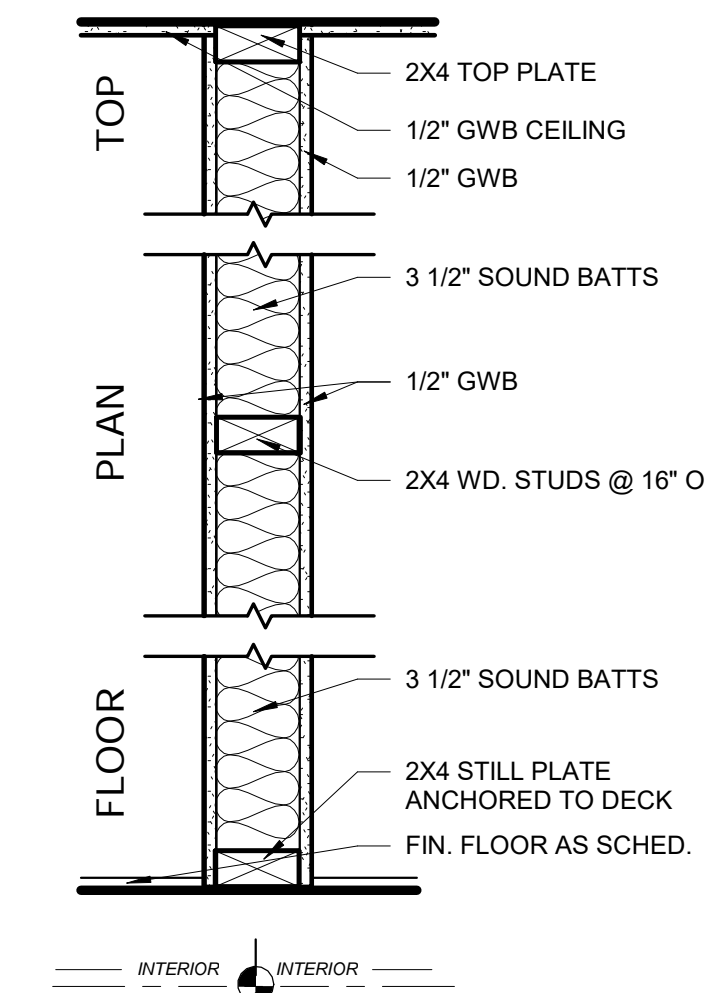


**W4**  
PARTY WALL W/ STUCCO  
(2"x6" WOOD STUD)  
UL DESIGN 359



### INTERIOR PARTITIONS

**P26**  
(2"x4" WOOD STUD)  
NON-RATED INTERIOR PARTITION

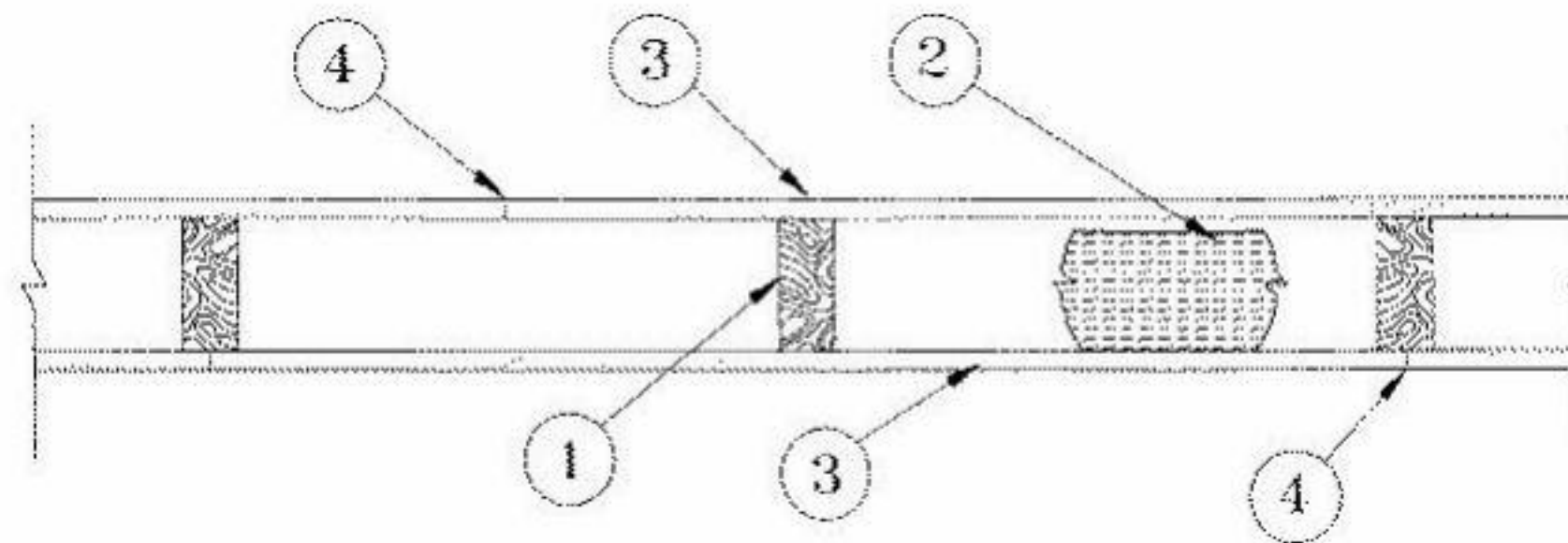


**L501 (1 HOUR):** 5/8" (15.9 mm) Fire-Shield Gypsum Board applied at right angles to 2x12 wood joists 16" o.c. with 6d nails, 1-7/8" long, .0915" shank, 1/4" heads, 6" oc. Wood joists supporting 1" nominal T&G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T&G and 19/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.

**MODIFIED ROOFING SYSTEM:** 2x4s @ 16" O.C. laid flat over 2x12 joists for ventilation. R38 insulation batting in roof. Nom. 5/8" fire retardant plywood 4 ft wide, starting from property line, perpendicular to joists with joints staggered.

**UL DESIGN L501**  
1/2" = 1'-0"

DESIGN NO. 359  
BEARING WALL RATING - 1 HR  
FINISH RATING - 29 MIN

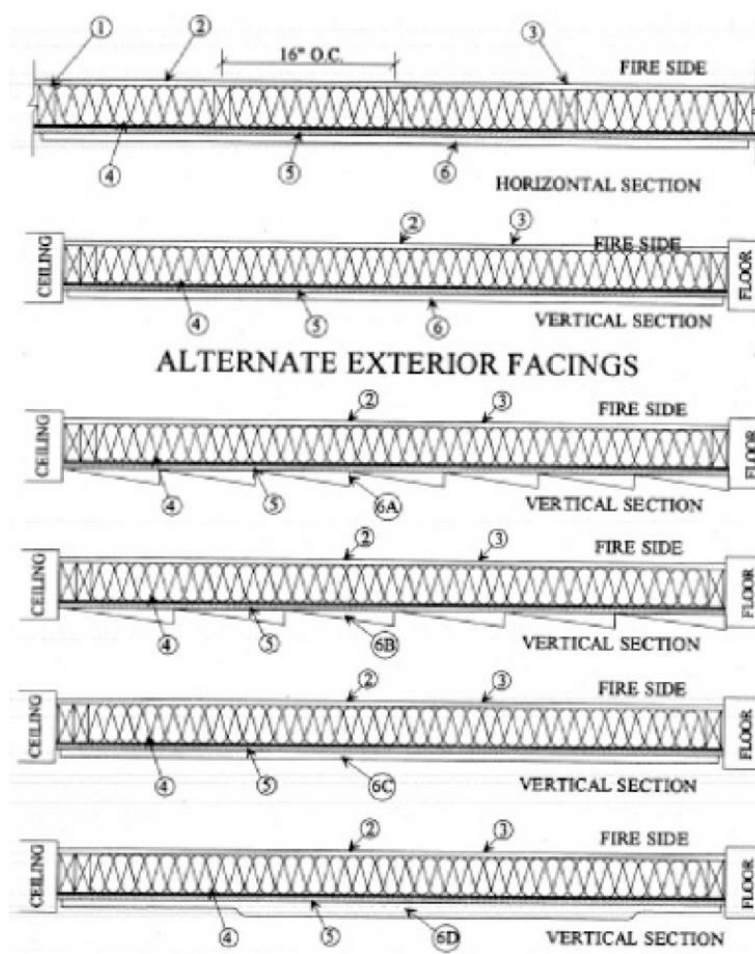


1. Wood Studs — Nom 2 by 4 in., spaced max 16 in. OC.
2. Batts and Blankets\* (Optional, Not shown) — Placed to completely or partially fill the stud cavities, any glass fiber or mineral wool insulation bearing the UL Classification Marking as to Surface Burning Characteristics and/or Fire Resistance. See Batts and Blankets (BKNY or BZJZ) Categories for names of classified companies.
3. Gypsum Board — Applied either horizontally or vertically. Vertical joints centered over studs. When used in widths other than 48 in., wallboard is to be installed horizontally. Nom 5/8 in. thick board attached to studs and plates with 6d cement coated nails (1-7/8 in. long) spaced 7 in. OC or with 1-7/8 in. long Type S screws spaced 7 in. OC or 1-1/4 in. long Type W coarse thread gypsum panel steel screws spaced a max 8 in. OC, with last screw 1 in. from edge of board.
4. Joints and Nailheads — (Not shown) — Wallboard joints covered with paper tape and joint compound. Nailheads covered with joint compound.

**UL 359 (1 HR)**  
1/2" = 1'-0"

Design No. U348  
April 10, 2013

Bearing Wall Rating - 1 HR  
(EXPOSED TO FIRE ON INTERIOR FACE ONLY)  
Finish Rating - 29 min



**WALL SYSTEM U348**  
1/4" = 1'-0"

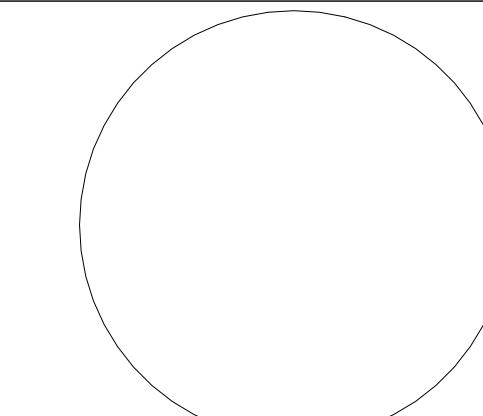
1. **Wood Studs** — Nom 2 by 4 in., spaced 16 in. OC with two 2 by 4 top and one 2 by 4 bottom plates. As an option, nom 2 by 6 in., spaced 24 in. OC with two 2 by 6 top and one 2 by 6 bottom plates may be used in lieu of 2 by 4 studs and plates. Studs effectively fire stopped.
2. **Gypsum Board** — Any 5/8 in. thick UL Classified Gypsum Board that is eligible for use in Design Nos. L501, G12 or L100s. Nom. 5/8 in. thick, 4 ft. wide, applied vertically, and nailed to studs and bearing plates 7 in. OC, with 6d cement coated nails, 1-7/8 in. long, 0.0915 in. shank diam. and 1/4 in. diam. head.
3. **Joints and Nailheads** — Wallboard joints covered with tape and joint compound. Nail heads covered with joint compound.
4. **Batts and Blankets\*** — Faced or unfaced mineral fiber insulation, 3-1/2 in. thick, nom 3.0 pcf, pressure fit in the wall cavity between stud, plates, and cross bracing.
5. **Building Units\*** — Building units placed with the laminate face against, and nailed to, the wood framing with 1-7/8 in. long, 6d nails, spaced 6 in. OC, on the perimeter and 12 in. OC, in the field.
6. **Exterior Facings** — Installed in accordance with the manufacturer's Installation Instructions.
- 6A. **Vinyl Siding\*** — (Optional) - UL Classified exterior plastic siding (molded plastic), fastened to the building units with nails or screws, at the locations specified by the manufacturer.
- 6B. **Particle Board Siding\*** — (Optional) - Oriented strand board, wafer board, or hard board exterior building sidings including patterned panels.
- 6C. **T-1-11 Plywood** — (Optional) - American Plywood Association rated siding series 303 including textures, bough sawn, MDO, brushed, channel grooved, and lap siding.
- 6D. **Cementitious Stucco** — (Optional) - Portland cement or synthetic stucco systems with self-furring metal lath or adhesive base coat. Thickness from 3/8 in. to 3/4 in., depending on system.
- 6E. **Brick** — (Optional - Not Shown) - Brick veneer, meeting the requirements of local code agencies. Brick veneer attached to the studs with corrugated metal wall ties attached to each stud with 8d cement coated nails, every sixth course of bricks.
- 6F. **Exterior Facings** — (Optional - Not Shown) - Any exterior facing approved by the Authority Having Jurisdiction installed in accordance with the manufacturer's installation instructions.



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No.	Description	Date
2	Comment Letter	Date 2

2661 E Huntingdon

PARTITION TYPES

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker

**A-101**

Scale As indicated
















### CEILING NOTES

**NOTE:** ALL ALARMS THROUGHOUT THE BUILDING ARE INTERCONNECTED IN A MANNER THAT SETTING OFF ONE ALARM WOULD SET ALL OTHER ALARMS IN THE UNIT

**NOTE:** EVERY BATHROOM AND TOILET ROOM THAT DOES NOT HAVE A WINDOW SHALL BE EQUIPPED WITH A MECHANICAL EXHAUST VENTILATION SYSTEM Per THE PHILADELPHIA PROPERTY MAINTENANCE CODE PM-403.2

**NOTE:** FIRE PROTECTION IS PROVIDED THROUGH OUT AND UNDER STAIR WAYS PER 2009 IBC 1009.6.3

#### CEILING SYMBOL LEGEND

-  FLUORESCENT FIXTURE
-  SURFACE MOUNT
-  WALL SCONCE
-  INCANDESCENT DOWN LIGHT FIXTURE 6" DIAMETER
-  FLUORESCENT DOWN LIGHT FIXTURE 6" DIAMETER
-  OPTIONAL CEILING FAN WITH LIGHT
-  RECESSED FLUORESCENT WALL WASHER 6" DIAMETER
-  CEILING MOUNTED LIGHT FIXTURE
-  SMOKE and CARBON DIOXIDE DETECTOR
-  EMERGENCY LIGHT
-  EXIT SIGN
-  WALL MOUNTED FLUORESCENT LIGHT
-  CEILING HEIGHT X'-X"
-  EXHAUST FAN
-  FIRE EXTINGUISHER

#### CEILING GENERAL NOTES

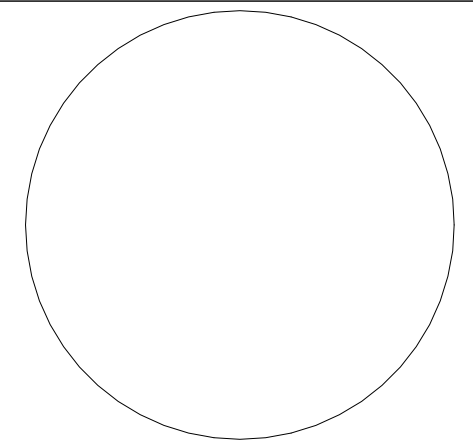
1. UNDERCABINET LIGHT ADD AS ALTERNATE - SEE KITCHEN ELEVATION
2. SEE ELECTRICAL PLANS FOR LOCATION OF EX, EM & REM LIGHTING FIXTURES
3. CEILING CONTRACTOR TO INSTALL CEILING IN ALL ROOMS AS SHOWN IN THE REFLECTED CEILING PLAN AND AS IDENTIFIED IN THE ROOM FINISH SCHEDULE. CEILING TO BE LAYED OUT IN COORDINATION WITH LIGHT FIXTURE LAYOUT SO NO TILE IS LESS THAN 6" SQUARE.
4. CEILING CONTRACTOR TO PATCH/ REPAIR OR MODIFY EXISTING CEILING AFTER INSTALLATION OF NEW YORK.
5. CEILING CONTRACTOR TO REMOVE AND REPLACE EXISTING CEILING (WITH NEW OR EXISTING TILES) AFTER MECHANICAL WORK HAS BEEN COMPLETED.
6. EXISTING CEILING TO BE REMOVED AND REPLACED WITH NEW CEILING TILES AS IDENTIFIED IN THE ROOM FINISH SCHEDULE.
7. SEE FARM DRAWINGS FOR LIGHT FIXTURES, SUPPLY AIR REGISTERS, RETURN GRILLS AND SPRINKLER HEAD LAYOUT
8. SPRINKLER HEADS TO FOLLOW CEILING MOUNTING MATRIX UNLESS OTHERWISE REQUIRED TO PROVIDE MINIMUM COVERAGE BY CODE.
9. ALL BATHROOM, CORRIDOR & CLOSET CEILING HEIGHTS TO BE 8'-0" UNLESS OTHERWISE NOTED.
10. ALL OTHER SPACES & LIVING AREAS TO BE GWB TIGHT TO UNDERSIDE OF EXIST. STRUCTURE.



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ARCHITECT, LLC

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**Universal Builders**

No.	Description	Date

2661 E Huntingdon

### REFLECTED CEILING PLAN

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker
<b>A-102</b>	
Scale	As indicated



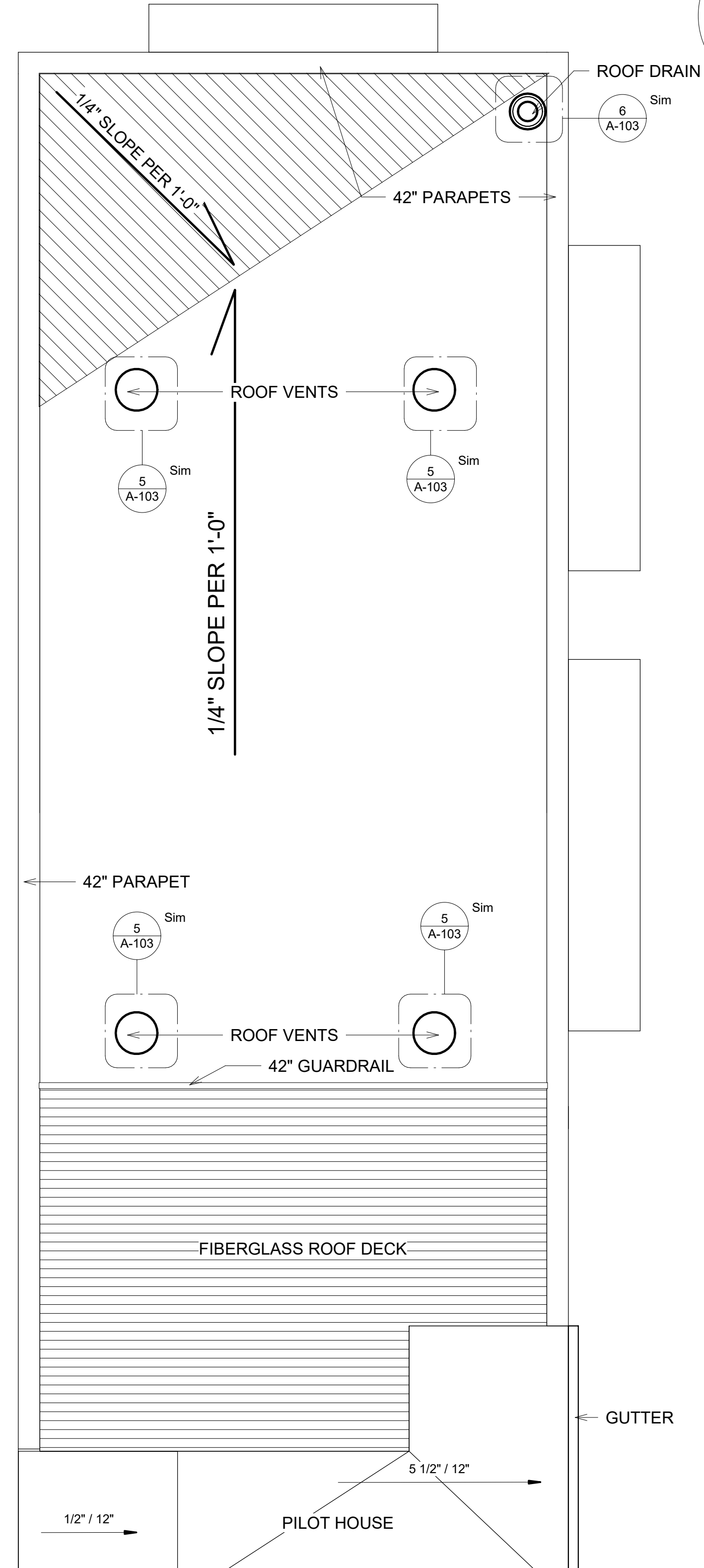
1 CELLAR 1/4" = 1'-0"  
 2 FIRST FLOOR 1/4" = 1'-0"  
 3 SECOND FLOOR 1/4" = 1'-0"  
 4 THIRD FLOOR 1/4" = 1'-0"  
 5 PILOT HOUSE 1/4" = 1'-0"

**NOTES**

NOTE: ROOF COVERINGS MUST BE A MINIMUM OF CLASS-B & ENERGY STAR RATED AS HIGHLY REFLECTIVE.  
\*\*SEE ENCLOSED ROOF SPEC. SHEET

**ROOF VENTILATION**

ROOF AREA	80,208 SQ IN
REQUIRED VENTILATION (1/150TH OF ROOF AREA)	534.72 SQ IN
PROVIDED VENTILATION	
(4) 14" DIAMETER WIND POWERED ROOF VENT(4) 153.86 SI = 615.44	
TOTAL PROVIDED VENTILATION	615.44 SQ IN



1 ROOF PLAN  
3/8" = 1'-0"

**Firestone Fully Adhered RubberGard EcoWhite Systems**

**Membrane:** RubberGard® EcoWhite (45 mil and 60 mil)  
**Adhesives:** BA-2004(T) Bonding Adhesive, Water Based Bonding Adhesive S or Single Ply LVOC Bonding Adhesive  
**Construction:** New, Retrofit or Tear-off  
**Classification:** Class A

Deck Type	Insulation Assembly	Insulation Minimum Thickness	Maximum Slope	Notes	Class, Type
NC C*	Coverboard: DensDeck	3/4"	1-1/2"	*DensDeck, 3/4"	A, Fully Adhered
NC C*	Coverboard: Firestone FiberTop	3/4"	1"	*DensDeck, 3/4"	A, Fully Adhered
NC C*	Coverboard: Oriented Strand Board	7/16"	1"	*DensDeck, 3/4"	A, Fully Adhered
NC C*	Insulation (Optional): Firestone ISO 95+ GL or Resista Coverboard: Firestone ISOGARD HD or Resista	Any 3/4"	1"	*DensDeck, 3/4"	A, Fully Adhered
NC C*	Insulation (Optional): Firestone ISO 95+ GL	Any	3/4"	*DensDeck, 3/4"	A, Fully Adhered

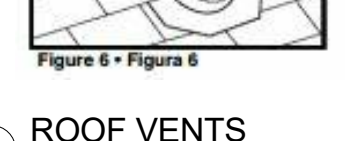
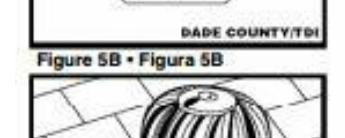
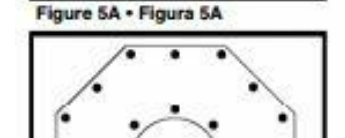
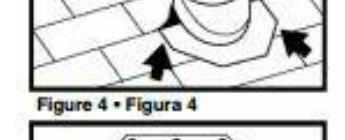
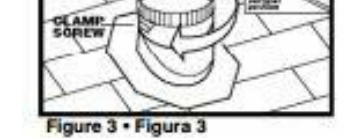
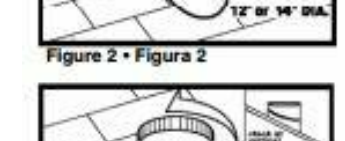
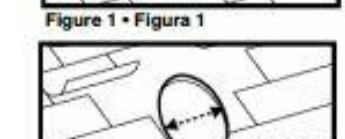
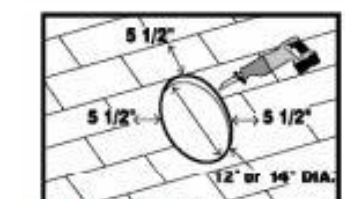
4 CLASS B ROOF SPECS  
1 1/2" = 1'-0"



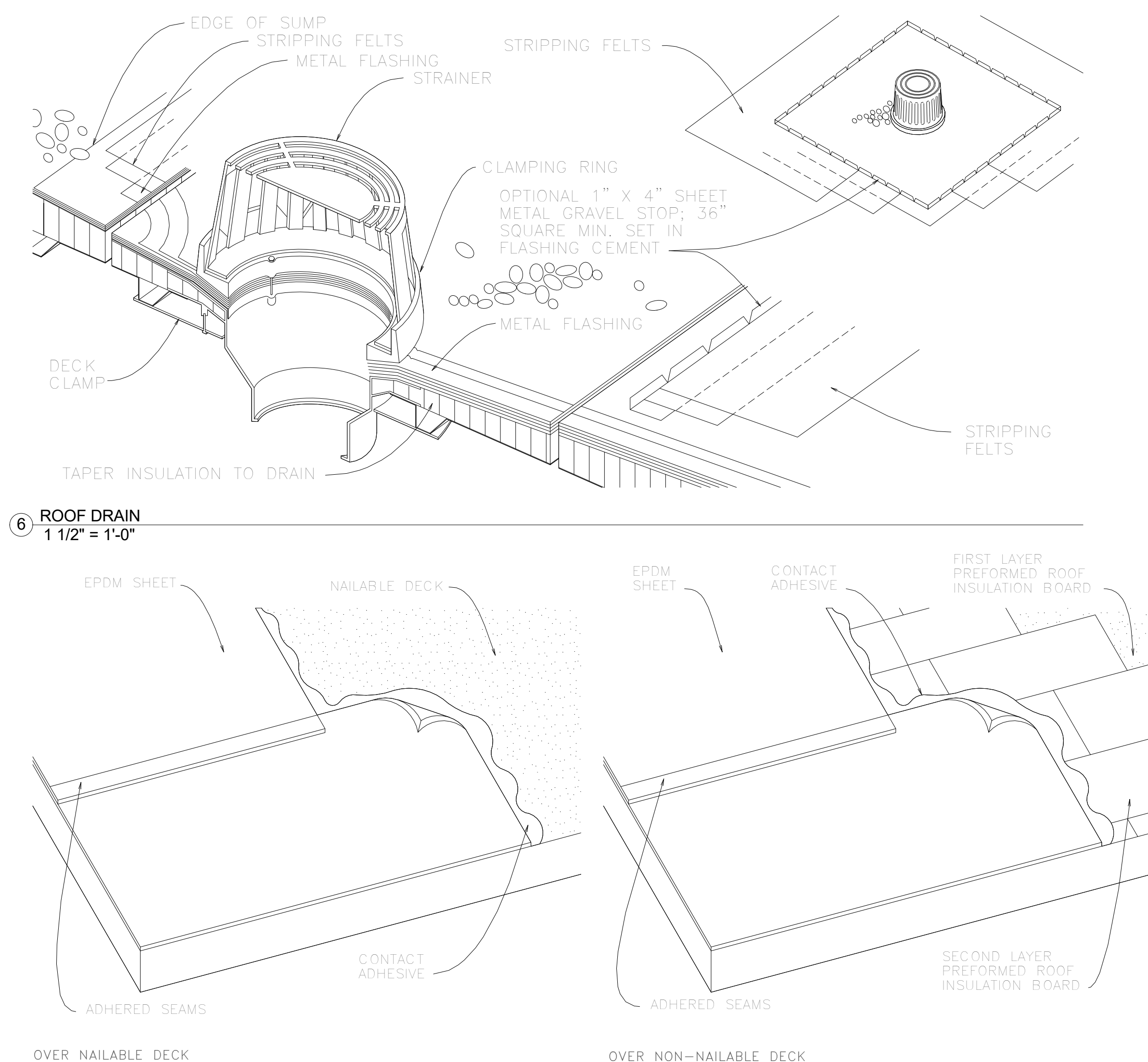
- Tools & Materials Required**
- Level
  - Safety Eyewear
  - Utility Knife
  - Drill
  - Power Sabre or Jig Saw and/or Handsaw
  - Extension Cord
  - Work Gloves
  - Galvanized Roofing Nails
  - Ladder
  - Claw Hammer
  - Shingles for cutting shingles
  - Caulking Gun
  - Clear Silicone Caulk
  - ASTM D4586 Asphalt Roofing Cement
  - Screw Driver
  - Pry Bar
  - Trowel

**CAUTION**  
This wind turbine ventilator is a precision balanced unit. Be careful when handling and during installation to avoid damaging or misaligning its rotor and bearing assembly. This turbine is for weather-resistant roofs. NEVER install on a chimney or any other hot stack or vent such as a draft inducer. The heat will quickly damage the turbine. For maximum efficiency of operation, locate the turbine fully exposed to prevailing winds and 20' high on the roof as far as possible without extending over the ridge. Do not secure the turbine using any fasteners on the ridge.

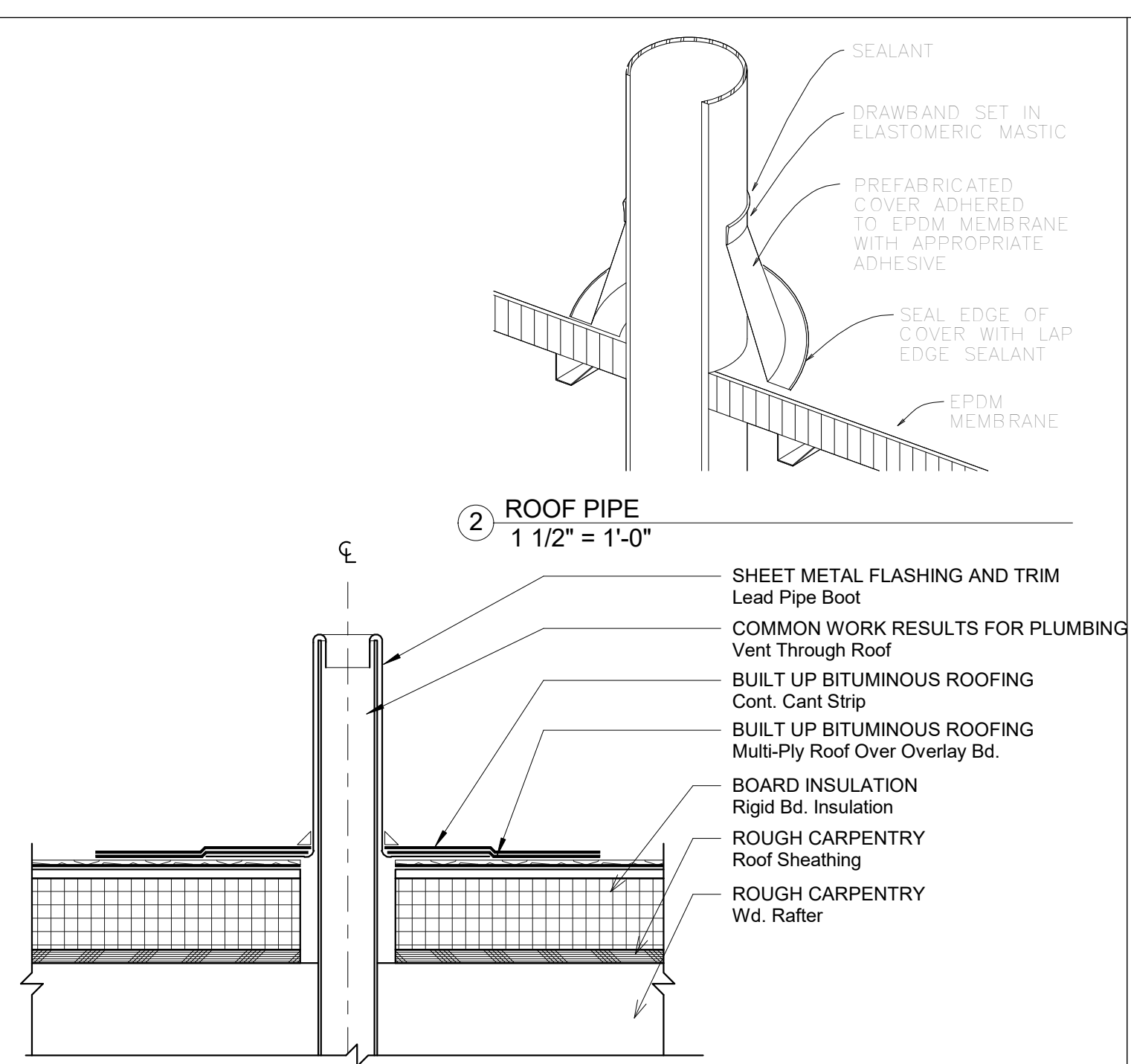
**Measure and Cut...** Choose location on the roof, approximately 16" from the ridge line and centered between two rafters. Cut a 12" or 14" diameter hole, depending on the size of the turbine unit, through shingles and sheathing boards using the template (located on the carton). Mark on the roof 5 1/2" up from the top and 5 1/2" to the left and right of the 12" or 14" cut-out. Figure 1



5 ROOF VENTS  
1" = 1'-0"



3 ROOF DETAIL  
1" = 1'-0"

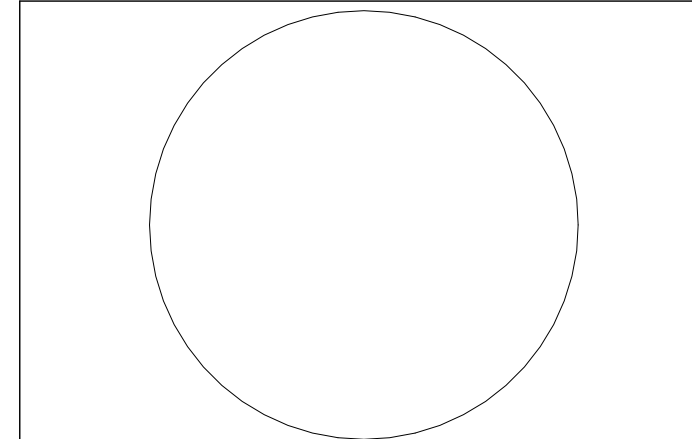


7 ROOF PENETRATION DETAIL  
1 1/2" = 1'-0"



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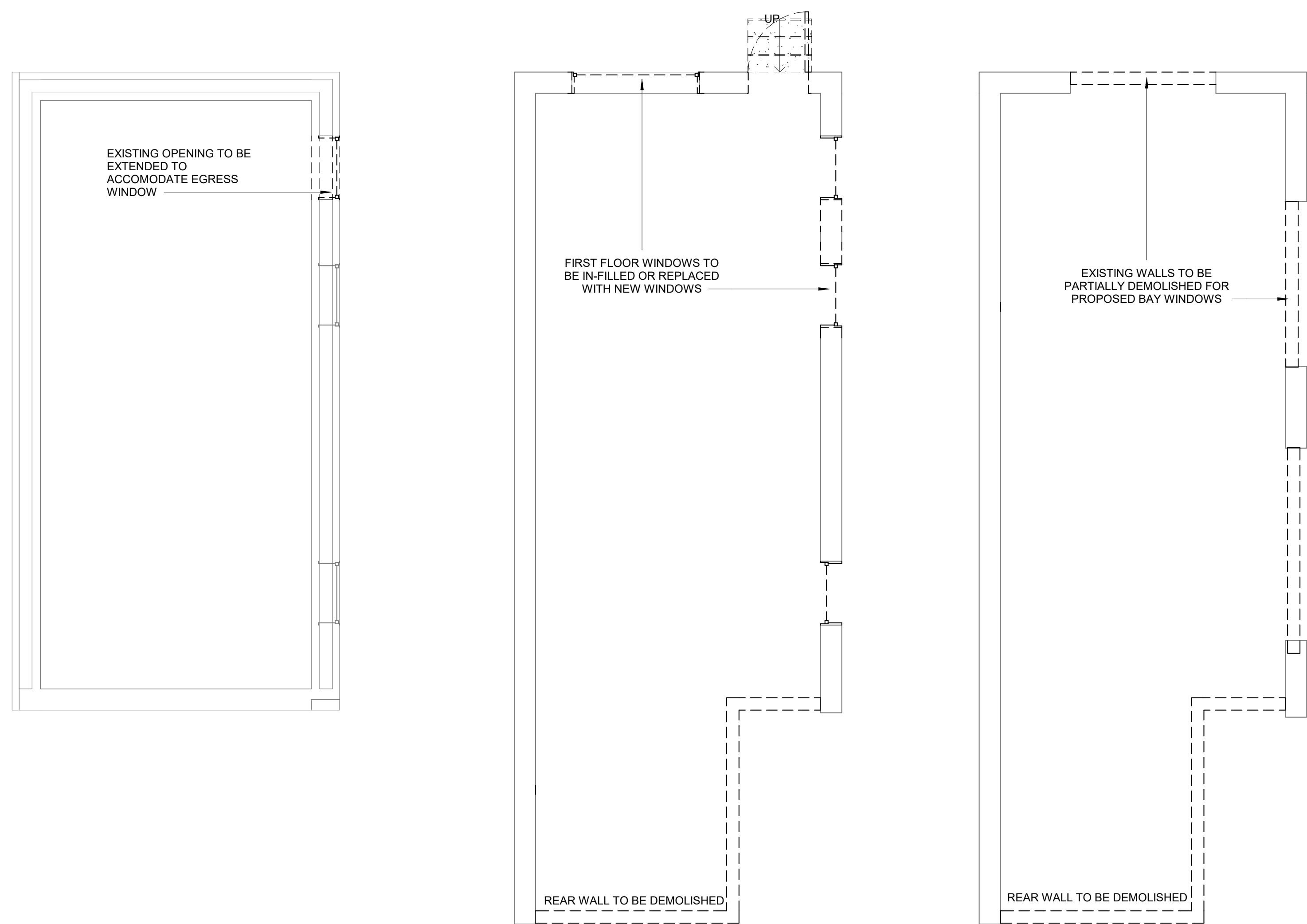
No.	Description	Date
2	Comment Letter	Date 2

2661 E Huntingdon

**ROOF PLAN**

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker

**A-103**  
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3 CELLAR DEMOLITION  
1/4" = 1'-0"

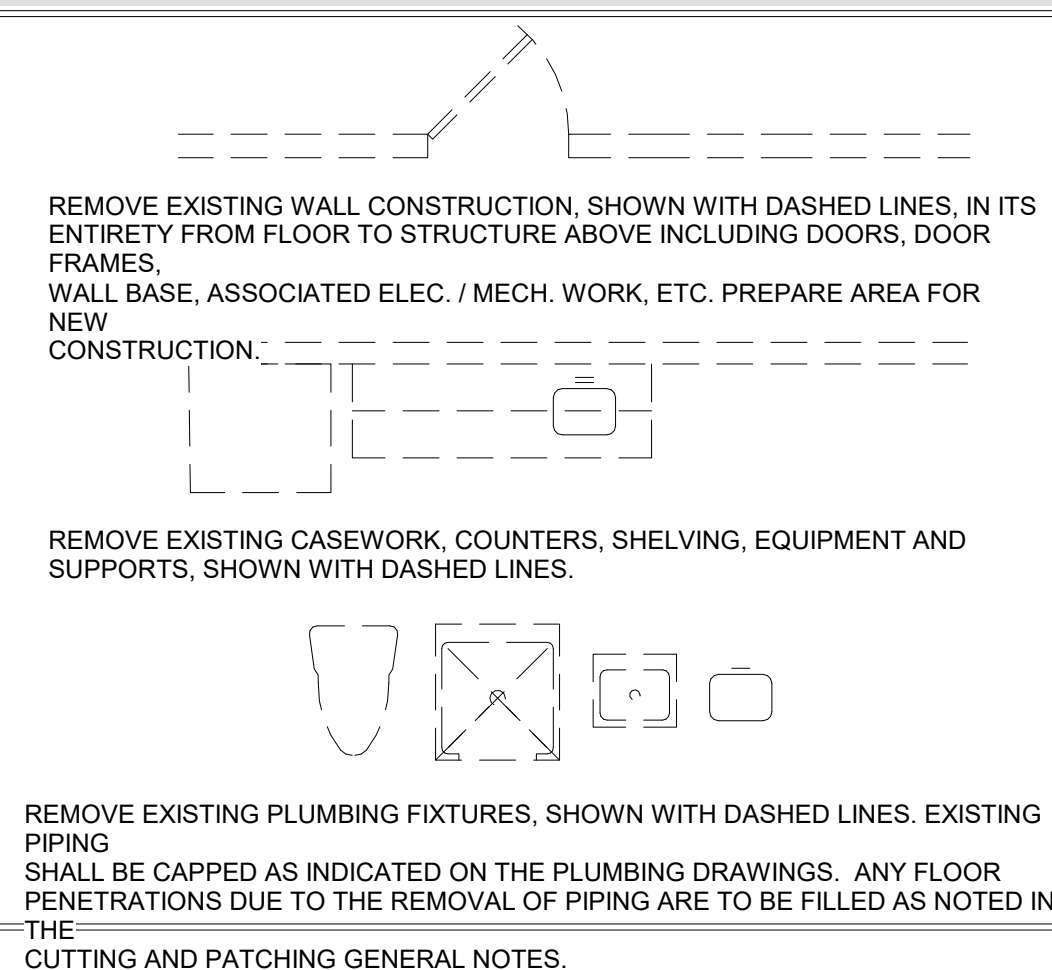
1 FIRST FLOOR DEMOLITION  
1/4" = 1'-0"

2 SECOND FLOOR DEMOLITION  
1/4" = 1'-0"

**DEMOLITION GENERAL NOTES**

1. DEMOLITION IS INTENDED TO PREPARE THE BUILDING TO RECEIVE THE NEW WORK. THE INFORMATION PROVIDED IN NO WAY INTENDS TO MEAN THAT DEMOLITION IS LIMITED ONLY TO THOSE ITEMS SPECIFICALLY IDENTIFIED. THE CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS OF CONSTRUCTION AND EQUIPMENT WITHIN THE PROJECT AREA, INDICATED ON DEMOLITION PLAN, INCLUDING, BUT NOT LIMITED TO FLOOR MATERIAL, BASE, WALLS, CEILING, DOORS, DOOR FRAMES, CASEWORK, ELECTRICAL, MECHANICAL, PLUMBING FIXTURES AND SYSTEM, AS REQUIRED TO ALLOW FOR THE EXECUTION OF NEW WORK.
2. THE CONTRACTOR SHALL REMOVE ALL ITEMS TO BE DEMOLISHED IN THEIR ENTIRETY INCLUDING ALL ASSOCIATED PIPING, WIRING, HANGERS, SUPPORTS, PROJECTIONS, BOLTS, NAILS, ETC. FROM EXISTING SURFACES, AND PATCH ALL HOLES TO MATCH ADJACENT SURFACES OR PROVIDE NEW SCHEDULED FINISHES.
3. THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION FOR DECISION ALL STRUCTURAL INTERFERENCE THAT WOULD AFFECTED THE EXECUTION OF THE NEW WORK. NO FLOOR OR STRUCTURAL MEMBERS SHALL BE CUT WITHOUT PERMISSION OF A REGISTERED STRUCTURAL ENGINEER. ALL PROPOSED SLEEVE / CORING SHALL BE REVIEWED BY THE ARCHITECT.
4. THE CONTRACTOR SHALL REMOVE ALL EXISTING FLOOR FINISHES AND ADHESIVE DOWN TO THE CONCRETE SLAB, AND LEAVE FLOOR SMOOTH FOR NEW FINISH. THE CONTRACTOR SHALL OBSERVE MANUFACTURER'S REQUIREMENTS FOR SUB-FLOOR PREPARATION. TREATMENT OF EXISTING FLOOR FINISHES WITHIN AREAS OF DEMOLITION SHALL BE AS FOLLOWS:
  - A. CARPET: REMOVE ENTIRELY, INCLUDING PADDING. REMOVE REMAINING GLUE RESIDUE AND PATCH AS NECESSARY FOR NEW FLOOR FINISH.
  - B. VINYL: REMOVE ENTIRELY AFTER MATERIAL HAS BEEN TESTED FOR ASBESTOS. REMOVE GLUE OR GROUT RESIDUE. PATCH AS NECESSARY TO PROVIDE LEVEL SURFACE.
  - C. CERAMIC TILE: REMOVE ENTIRELY. PATCH AND REPAIR FLOORS WITH A LATEX LEVELING COMPOUND TO PRODUCE A SMOOTH, LEVEL SURFACE TO RECEIVE NEW FINISHES.
5. THE CONTRACTOR SHALL REMOVE EXISTING FINISHES, INCLUDING CERAMIC TILE, VINYL WALL COVERING, WALL BASE ETC. AT ALL EXISTING WALLS TO RECEIVE NEW FINISHES, UNLESS NOTED OTHERWISE, AND LEAVE WALL SURFACE SMOOTH TO RECEIVE NEW FINISHES.
6. THE CONTRACTOR SHALL REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER INSTALLATION OF MECHANICAL, PLUMBING AND ELECTRICAL WORK.
7. THE CONTRACTOR SHALL REMOVE ALL EXISTING CEILINGS TO ALLOW FOR PROPER INSTALLATION OF NEW CEILINGS.
8. ALL PIPING WHICH BECOMES EXPOSED DURING THE ALTERATION WORK SHALL BE REMOVED AND REROUTED TO BE CONCEALED BEHIND FINISHED SURFACES.
9. EXISTING BUILDING PLUMBING SERVICES TO BE SHUTDOWN PRIOR TO DEMOLITION WORK. SHUTDOWN(S) SHALL BE COORDINATED WITH THE OWNER AND CONDOMINIUM ASSOCIATION.
10. COORDINATE WITH OWNER REGARDING THE REMOVAL AND/OR STORAGE OF EXISTING FURNITURE AND LAUNDRY APPLIANCES.
11. THE CONTRACTOR SHALL MAINTAIN ALL MEANS OF EGRESS FOR THE DURATION OF DEMOLITION / CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE FIRE RATED TEMPORARY PARTITIONS, AND COVERED WALKS TO MAINTAIN EGRESS AND SAFE PASSAGE FROM THE BUILDING TO THE PUBLIC WAY AND AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
12. THE CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION WHILE WORKING IN THE SPACES BELOW OR ABOVE THE AREA OF DEMOLITION / CONSTRUCTION.
13. THE ARCHITECT AND OR ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION AND OR DEMOLITION PROCEDURES, TECHNIQUES, OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK SAFELY WITH THE REQUIRED CODES LOCAL STATE OR OSHA REGULATIONS

**DEMOLITION LEGEND**



**CONTRACTOR NOTES**

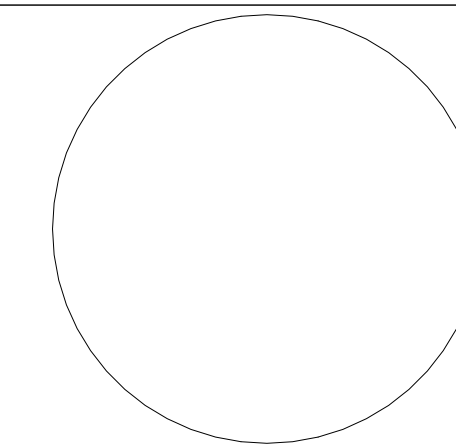
1. THE CONTRACTOR SHALL PERFORM A SITE VISIT. IN DOING SO THE CONTRACTOR HAS AGREED THAT THEY HAVE INVESTIGATED THE EXISTING CONDITIONS TO BE RENOVATED AND COMPARE THEM TO THE WORK TO BE PERFORMED ACCORDING TO THE PROPOSED WORK.
2. INFORMATION CONTAINED ON THESE DRAWINGS WITH REGARD TO EXISTING CONDITIONS OF CONSTRUCTION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR IN EXECUTING THE NEW WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATION OF SUCH EXISTING CONDITIONS. THIS INTERPRETATION HAS BEEN TAKEN FROM DRAWINGS SUPPLIED BY OWNER AND HAS BEEN FURTHER SUPPLEMENTED WITH FIELD-MEASUREMENTS AND OBSERVATIONS. THE INFORMATION CONTAINED IN THESE DRAWINGS, WITH REGARD TO THE EXISTING CONDITIONS OF CONSTRUCTION IN NO WAY RELEASES THE CONTRACTOR FROM THE RESPONSIBILITY FOR VERIFYING COMPLETELY ALL FIELD CONDITIONS RELATING TO THE EXECUTION OF THE WORK, AS DESCRIBED IN THESE DOCUMENTS.
3. NO GUARANTEE IS MADE AS TO THE GENERAL CONDITIONS OF THE EXISTING BUILDING. THE CONTRACTOR SHALL FIELD VERIFY AND DOCUMENT ALL EXISTING DIMENSIONS, ELEVATIONS, BENCHMARKS, MATERIALS, UTILITIES AND CONSTRUCTION TYPE THAT MAY AFFECT OR BE AFFECTED BY NEW WORK, AND SHALL COORDINATE SUCH FIELD VERIFICATION WITH THE CONTRACT DOCUMENTS AND THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
4. THE CONTRACTOR SHALL FIELD-VERIFY THE EXISTING CONDITIONS AS THEY RELATED TO SPECIFIC PORTIONS OF THE WORK. VERIFICATION SHALL BE UNDERTAKEN IN ADVANCE TO ALLOW FOR THE TIMELY IDENTIFICATION OF EXISTING CONDITIONS THAT MAY AFFECT THE SCHEDULED INSTALLATION OF NEW WORK AS DESIGNED AND DETAILED, AND TO AVOID UNDUE AND UNREASONABLE DELAYS TO THE PROJECT SHOULD SUCH CONDITIONS BE DISCOVERED. TIMELY IDENTIFICATION OF SUCH CONDITIONS SHALL PROVIDE FOR A MINIMUM PERIOD OF TEN (10) WORKING DAYS DURING WHICH TIME THE ARCHITECT WILL EVALUATE THE CONDITIONS AND MAKE RECOMMENDATIONS FOR ACCOMMODATING NEW WORK.
5. THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION AND EXTENT OF THE LIFE SAFETY SYSTEM (INCLUDING BUT NOT LIMITED TO SPRINKLER SYSTEMS, SMOKE DETECTION SYSTEMS, EMERGENCY LIGHTING SYSTEMS) AS THEY MAY BE AFFECTED BY THE NEW WORK. THE CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING THESE SYSTEMS WHEN AFFECTED BY NEW WORK SO THAT ALL APPLICABLE CODES REQUIREMENTS ARE SATISFIED.
6. THE AREAS ADJACENT TO THE PROJECT ARE CURRENTLY OCCUPIED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY IMPEDE THEM, INCLUDING ANY ACTIVITY WHICH CREATES EXCESSIVE NOISE, AND NOTIFY ANY OCCUPANTS OF THE BUILDING OF ANY CONSTRUCTION ACTIVITIES WHICH MAY AFFECT THEM.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO AREAS ADJACENT TO NEW CONSTRUCTION OR OCCUPIED AREAS WHERE VARIOUS SYSTEM CONNECTIONS OR EXTENSIONS ARE REQUIRED AND SHALL BE RESPONSIBLE FOR DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL IDENTIFY POINTS OF ACCESS TO THE BUILDING AND VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, MATERIALS, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER.
9. THE CONTRACTOR SHALL IDENTIFY EXISTING COMPONENTS AND ASSEMBLIES WITHIN THE BUILDING THAT ARE CONSTRUCTED AS FIRE-RATED ASSEMBLIES; SHALL NOTE ANY DISCREPANCIES AND/OR CONFLICTS INVOLVING EXISTING CONDITIONS AND BRING THEM TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
10. THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE BUILDING IN A WEATHER TIGHT CONDITION.
11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER INTERFACE BETWEEN EXISTING AND NEW WORK.
12. THE CONTRACTOR/ OWNER IS RESPONSIBLE FOR ENGINEERING SURVEY FOR EXISTING CONDITIONS AND FOR SEQUENCE OF DEMOLITION ALL SITE SAFETY AND SITE SAFETY PLAN

**CUTTING AND PATCHING GENERAL NOTES**

1. WHERE EXISTING CONSTRUCTION TO REMAIN IS DAMAGED BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER WORK PERFORMED UNDER THIS CONTRACT, THE CONTRACTOR SHALL PATCH, REPAIR AND ALIGN ALL EXISTING CONSTRUCTION SO AS TO LEAVE NO EVIDENCE OF PATCHING OR REPAIR AND PREPARE EXISTING SURFACE TO RECEIVE NEW SCHEDULED FINISHES.
2. WHERE EXISTING EXTERIOR WALL OR INTERIOR PARTITIONS ARE DAMAGED IN AREAS OF SELECTIVE DEMOLITION BY THE REMOVAL OF EXISTING CONSTRUCTION OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL REPAIR EXISTING WALL SURFACES TO MATCH EXISTING OR PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES.
3. WHERE LEVEL CHANGES, HOLES, DEPRESSIONS, OR FORMED TRENCHES ARE UNCOVERED IN EXISTING CONCRETE SLAB BY THE REMOVAL OF EXISTING WALLS / EXISTING FLOORING OR ANY OTHER DEMOLITION ACTION, THE CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONCRETE SURFACES WITH A LATEX OR GYPCRETE LEVELING COMPOUND UNLESS SPECIFIED OTHERWISE TO PRODUCE A SMOOTH LEVEL SURFACE TO RECEIVE NEW FINISHES.
4. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM EXISTING WALL / PARTITION TO REMAIN, THE CONTRACTOR SHALL INFILL THE OPENING / PENETRATION WITH MATERIALS THAT MATCH THE EXISTING CONSTRUCTION, OR AN UL-APPROVED MATERIAL TO MAINTAIN THE EXISTING FIRE RATED ASSEMBLY.
5. WHERE WALL AREAS THAT ARE LEFT EXPOSED AS A RESULT OF AN ADJUSTMENT IN FINISH CEILING HEIGHT. THE CONTRACTOR SHALL REPAIR EXISTING WALL SURFACES TO MATCH EXISTING OR PRODUCE A SMOOTH SURFACE TO RECEIVE NEW FINISHES.
6. WHERE PIPES, CONDUITS, DUCTWORK, ETC. ARE TO BE REMOVED FROM ANY FLOOR OR ROOF ASSEMBLY TO REMAIN, THE CONTRACTOR SHALL INFILL THE OPENING WITH MATERIALS TO MAINTAIN DESIGNATED FIRE OR SMOKE RATING.

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**Universal Builders**

No.	Description	Date

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**DEMO PLANS**

Project number	Project Number
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**A-104**

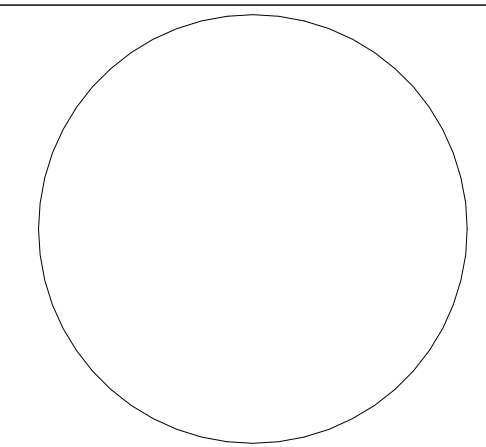
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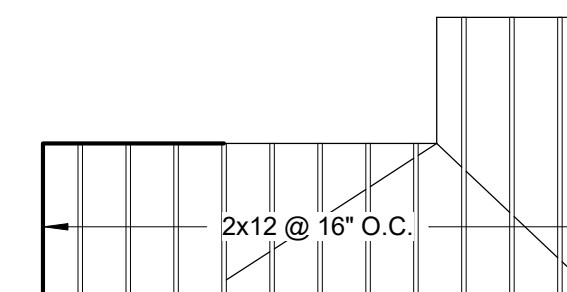
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**FRAMING NOTES**

- MAINTAIN 4" BRICK SEPERATION BETWEEN ALL JOIST POCKETS & ADJACENT PROPERTY
- VERIFY MASONRY CONDITION @ ALL EXISTING JOIST POCKETS VERIFY 4" MIN STABLE BEARING MASONRY BELOW ALL JOISTS & BEAMS
- ALL BUILT-UP BEAMS TO HAVE 1/2" PLYWOOD CORES & TO BE CONNECTED W/1/2" DIA. THROUGH BOLTS @32" O.C. STAGGERED @ 1 1/2' ABOVE AND BELOW THE N. A.
- PROVIDE (3) 2x6 POSTS WITHIN 2X6 BEARING WALLS @ ALL BEAM LOCATIONS ALL POSTS TO BE CONTINUOUS TO FOUNDATION; BLOCK FLOOR SYSTEM SOLID UNDER ALL POST LOCATIONS (TYP)
- PROVIDE FULL DEPTH JOIST HANGERS @ ALL JOIST TO BEAM CONNECTIONS; FASTEN PER MANUF SPECIFICATIONS
- PROVIDE FULL DEPTH HANGERS @ ALL BEAM TO BEAM CONNECTIONS; FASTEN PER MANUF SPECIFICATIONS
- PROVIDE DOUBLE TOP PLATES IN ALL BEARING WALLS
- BEAMS TO BE FLUSH WITH FLOOR JOISTS UNLESS OTHERWISE NOTED
- ALL LUMBER INDIRECT CONTACT WITH MASONRY TO BE WOLMANIZED; ALL EXTERIOR LUMBER TO BE WOLMANIZED (UNLESS OTHERWISE NOTED)
- ALL EXTERIOR FASTNERS TO BE GLAVANIZED
- ALL FLOOR DECKING TO BE 3/4" T&G PLYWOOD BOTH GLUED & SCREWED TO FLOOR JOISTS
- PROVIDE 4" MIN BEARING @ALL JOISTS & BEAMS
- PROVIDE SOLID BRIDGING BETW JOISTS @7'-0" O.C.
- PROVIDE NEW ( & VERIFY EXISTING) HEADERS AS SCHEDULED



5 PILOT HOUSE FRAMING  
3/16" = 1'-0"

**LINTEL SCHEDULE**

- 1) ALL STEEL LINTELS SHALL BE ASTM A-36
- 2) ALL LINTELS SHALL HAVE 6 INCH MINIMUM BEARING U.N.O.
- 3) CALL ENGINEER FOR OPENINGS OVER 8'-0"

**STEEL LINTELS:**

WIDTH OF OPENING	STEEL	
UP TO 2'-11" OPENING	L3-1/2X3-1/2X5/16	6"
3'-0" TO 3'-11" OPENING	L4X3-1/2X5/16	6"
4'-0" TO 5'-11" OPENING	L5X3-1/2X5/16	6"
6'-0" TO 8'-0" OPENING	L6X3-1/2X5/16	PL 8"

**PRE-CAST CONCRETE LINTEL SCHEDULE**

WIDTH OF OPENING	REINFORCED CONCRETE FOR EACH 4" OF WALL THICKNESS
UP TO 6'-1" TO 8'-0" OPENING	#3 TOP AND #5 BOTTOM

- 1) NOMINAL SIZE 4"X8"
- 2) MINIMUM 3000 PSI CONCRETE
- 3) MINIMUM 6" BEARING EACH SIDE
- 4) GROUT 3 COURSES SOLID UNDER BEARING AREA PROVIDE MINIMUM 6" BEARING EACH

**HEADERS FOR OPENINGS IN METAL STUD WALL**

UP TO 4'-11"	(2) 6S 65W 16 I-SHAPED
5'-0" UP TO 8'-0"	(3) 6S I-SHAPED

THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT DOOR FRAMES, LOUVERS, ETC AS SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION

NO OPENING SHALL BE PLACED ABOVE ANY LINTEL WITHIN A HEIGHT LESS THAN OR EQUAL TO THE WIDTH OF THE CLEAR OPENING BELOW THE LINTEL UNLESS SPECIFICALLY SHOWN OR APPROVED BY THE STRUCTURAL ENGINEER.

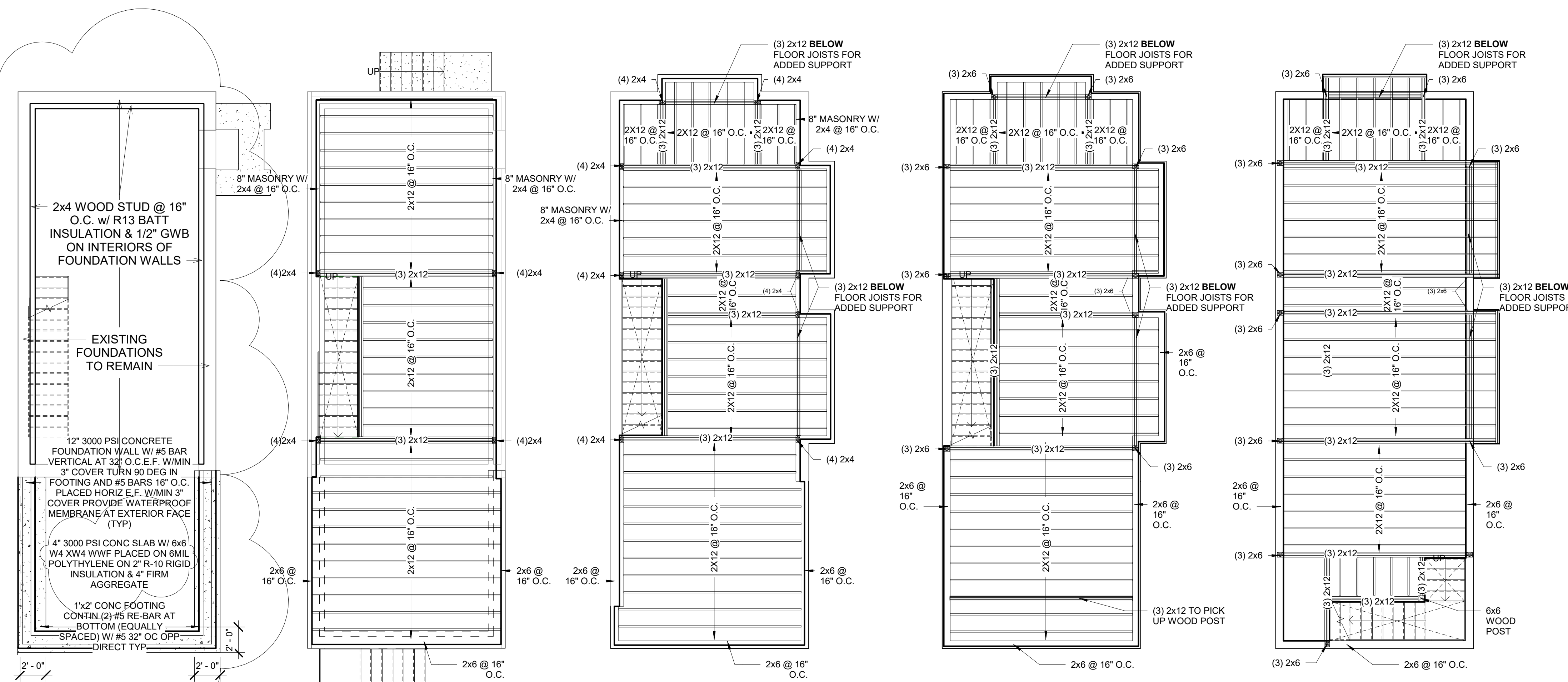
**WOOD HEADERS/ FRAMED WALLS**

	2"X4"	2"X6"
3'-0" MAX SPAN	(2) 2"X8" PLY WD CORE	(3) 2"X8" PLY WD CORES
4'-0" MAX SPAN	(2) 2"X10" PLY WD CORE	(3) 2"X10" PLY WD CORES
5'-0" MAX SPAN	(2) 2"X12" PLY WD CORE	(3) 2"X12" PLY WD CORES

ALL WOOD HEADERS SHALL BE CONTINUOUS WITH NO SPLICING

THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT DOOR FRAMES, LOUVERS, ETC AS SHOWN ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION

NO OPENING SHALL BE PLACED ABOVE ANY LINTEL WITHIN A HEIGHT LESS THAN OR EQUAL TO THE WIDTH OF THE CLEAR OPENING BELOW THE LINTEL UNLESS SPECIFICALLY SHOWN OR APPROVED BY THE STRUCTURAL ENGINEER.



4 CRAWLSPACE FOUNDATION  
3/16" = 1'-0"

1 FIRST FLOOR FRAMING  
3/16" = 1'-0"

2 SECOND FLOOR FRAMING  
3/16" = 1'-0"

3 THIRD FLOOR FRAMING  
3/16" = 1'-0"

6 ROOF FRAMING PLAN  
3/16" = 1'-0"

2661 E Huntingdon

**FRAMING PLANS**

Project number	Project Number
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**A-105**

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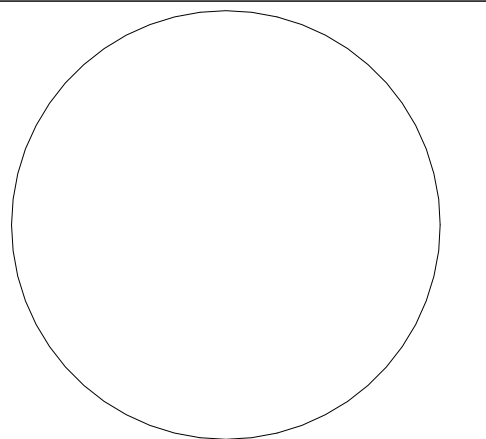




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No.	Description	Date

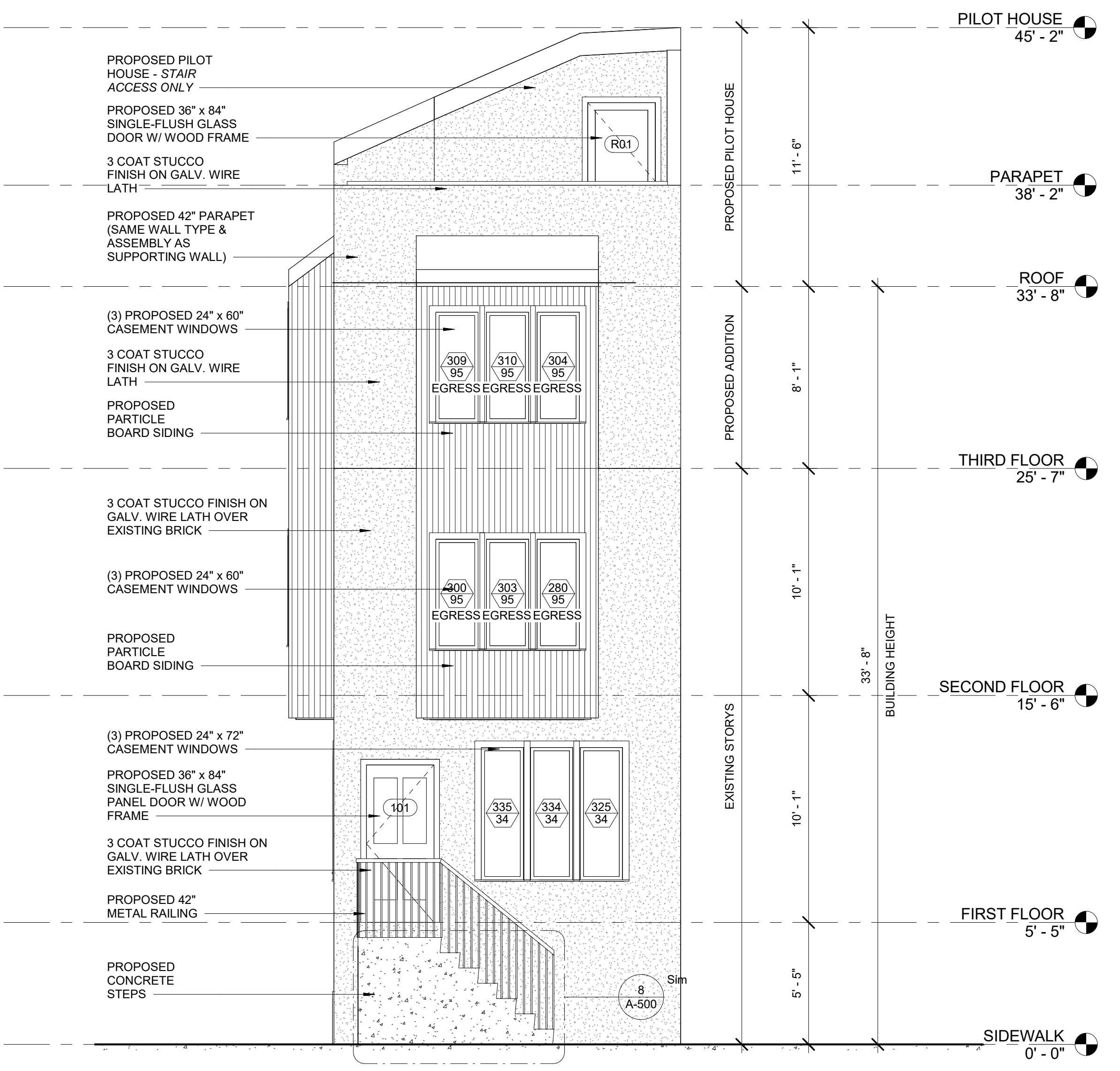
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**ELEVATIONS**

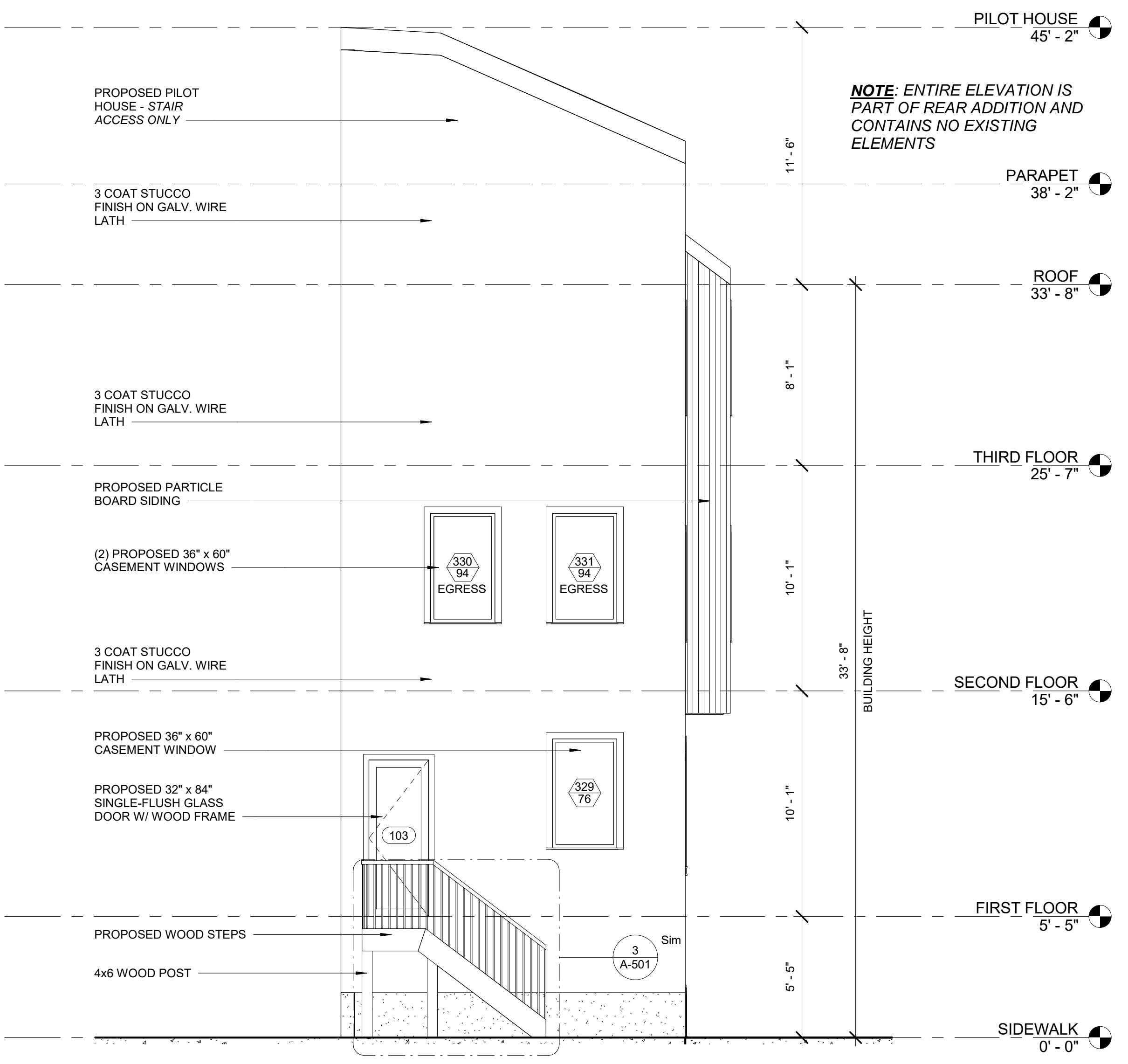
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**A-200**

Scale 1/4" = 1'-0"



2 EAST HUNTINGDON STREET ELEVATION  
1/4" = 1'-0"

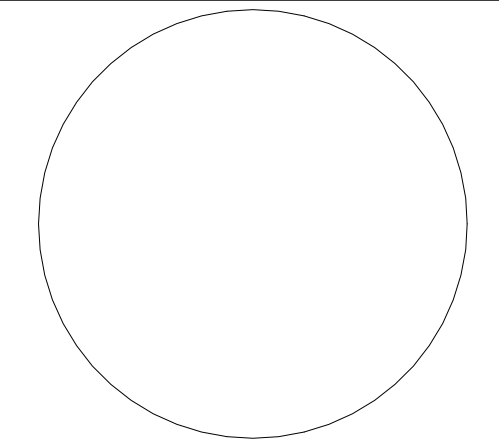


3 REAR ELEVATION  
1/4" = 1'-0"



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ARCHITECT SEAL MUST BE IN RED INK

OWNER

**Universal Builders**

No.	Description	Date

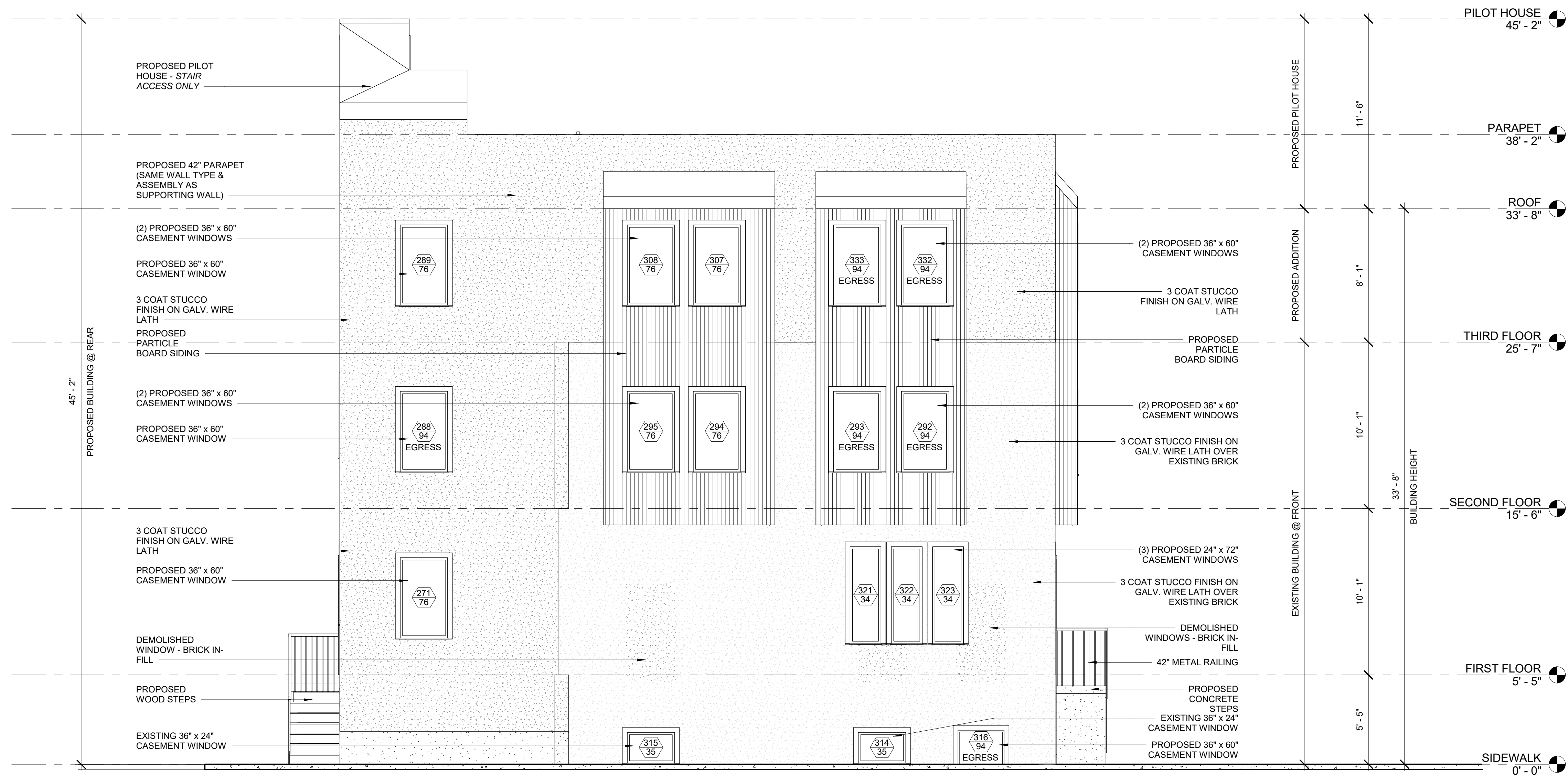
2661 E Huntingdon

**ELEVATION**

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	Author
Checked by	Checker

**A-201**

Scale 1/4" = 1'-0"



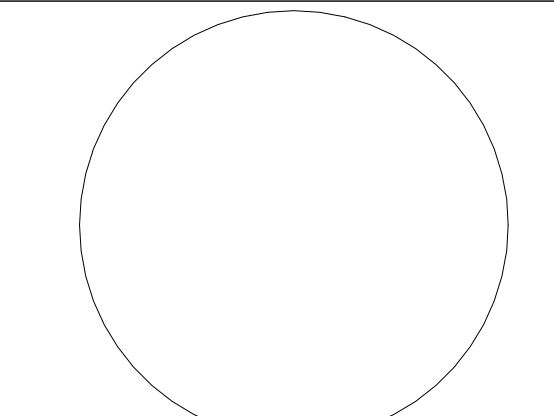
1 EGDEMONT STREET ELEVATION  
1/4" = 1'-0"



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**Universal Builders**

No.	Description	Date
2	Comment Letter	Date 2

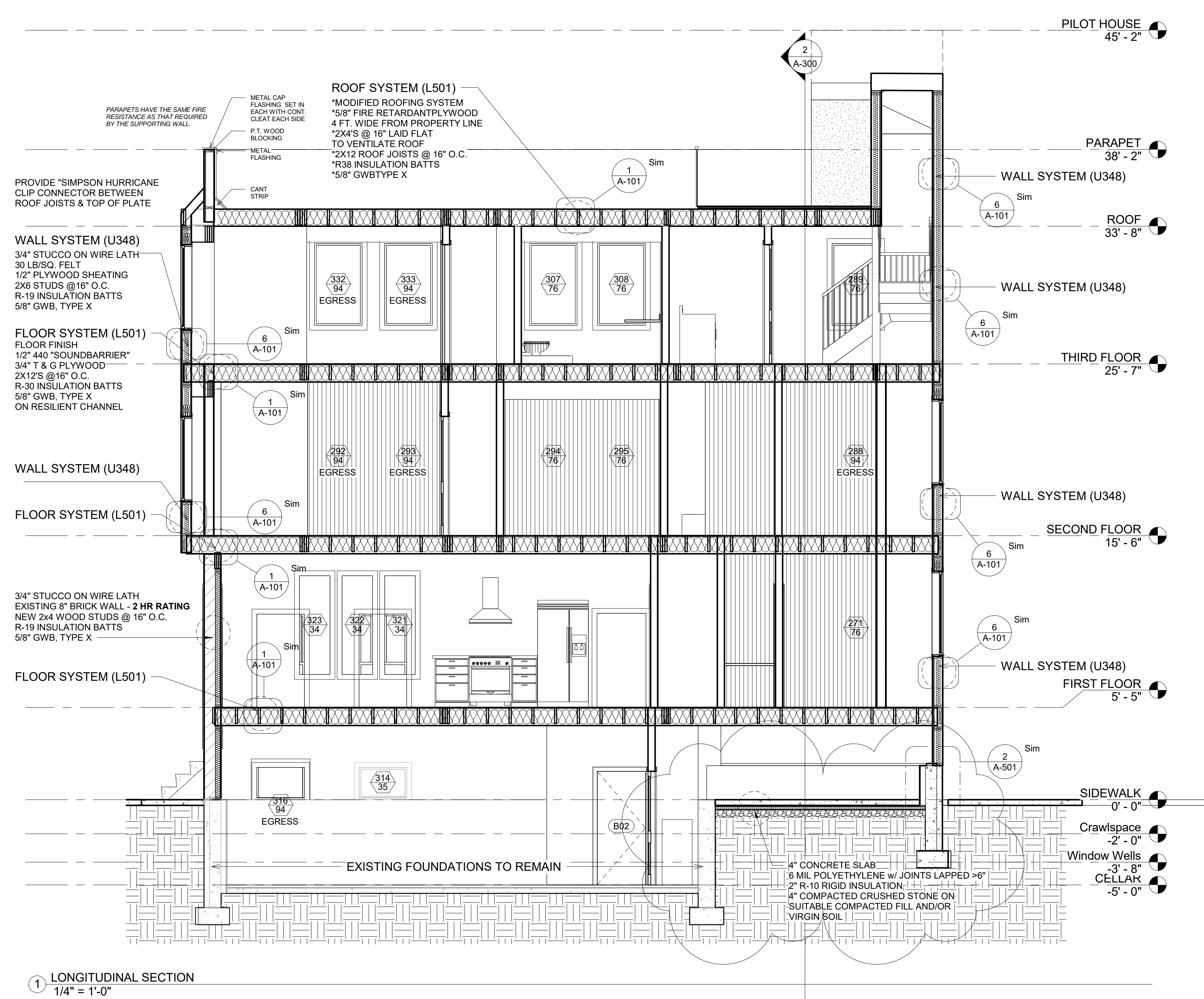
2661 E Huntingdon

**WALL SECTIONS**

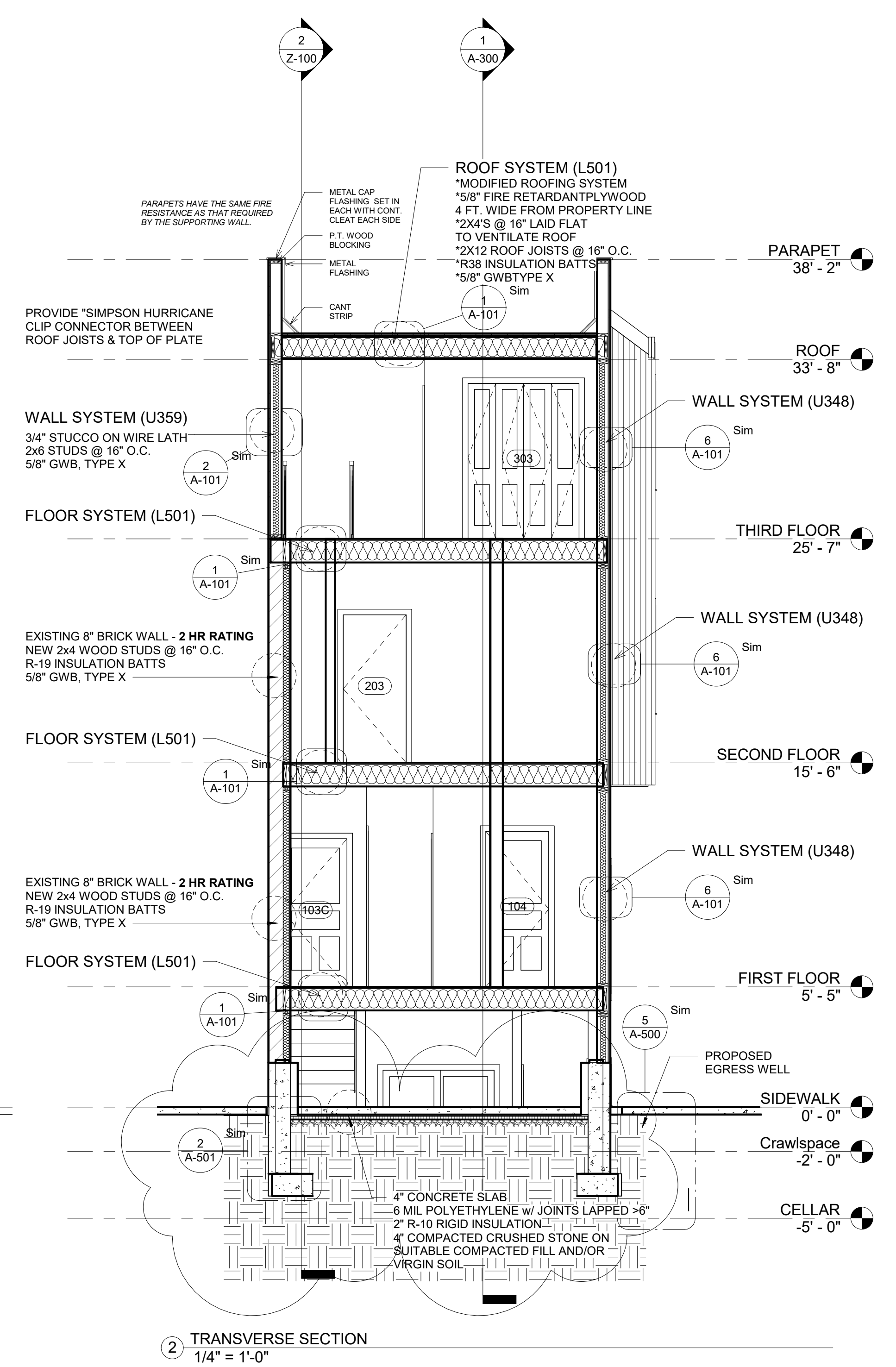
Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker

**A-300**

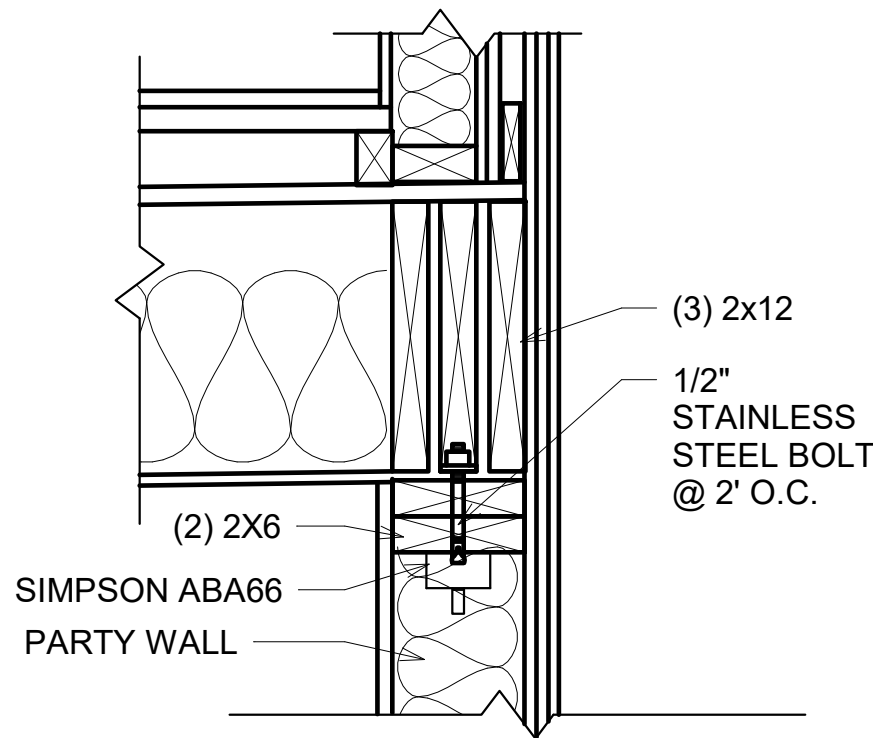
Scale 1/4" = 1'-0"



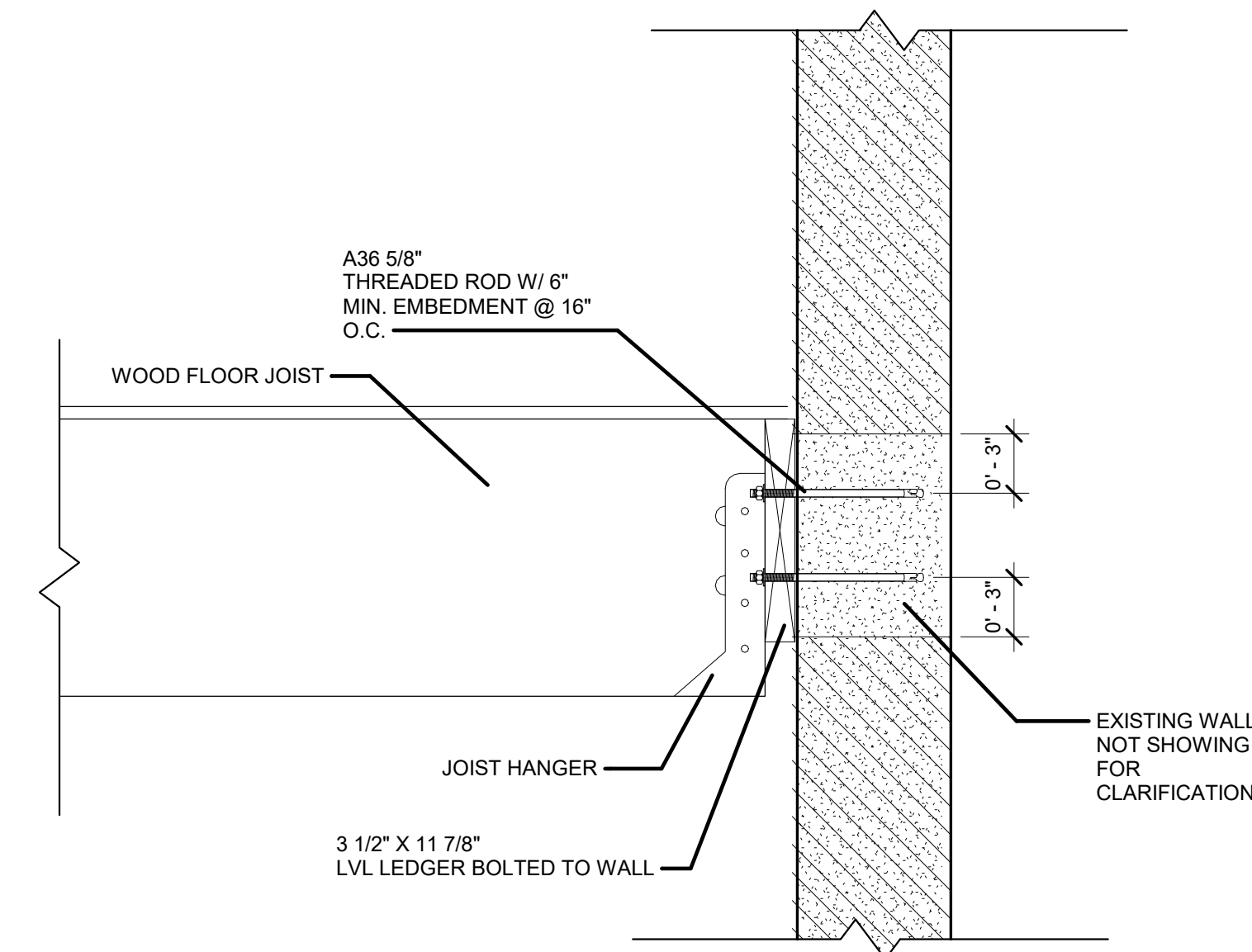
1 LONGITUDINAL SECTION  
1/4" = 1'-0"



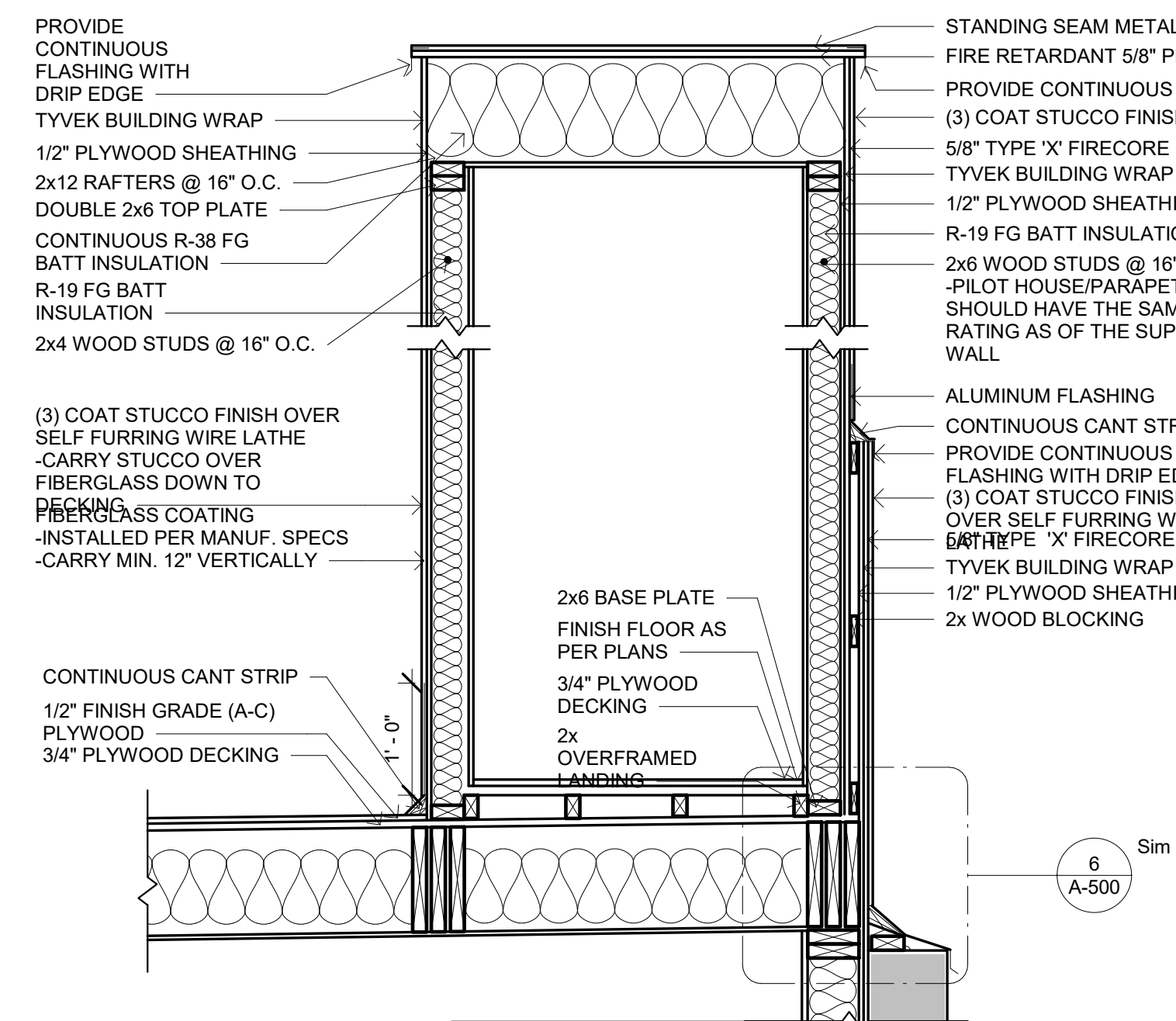
2 TRANSVERSE SECTION  
1/4" = 1'-0"



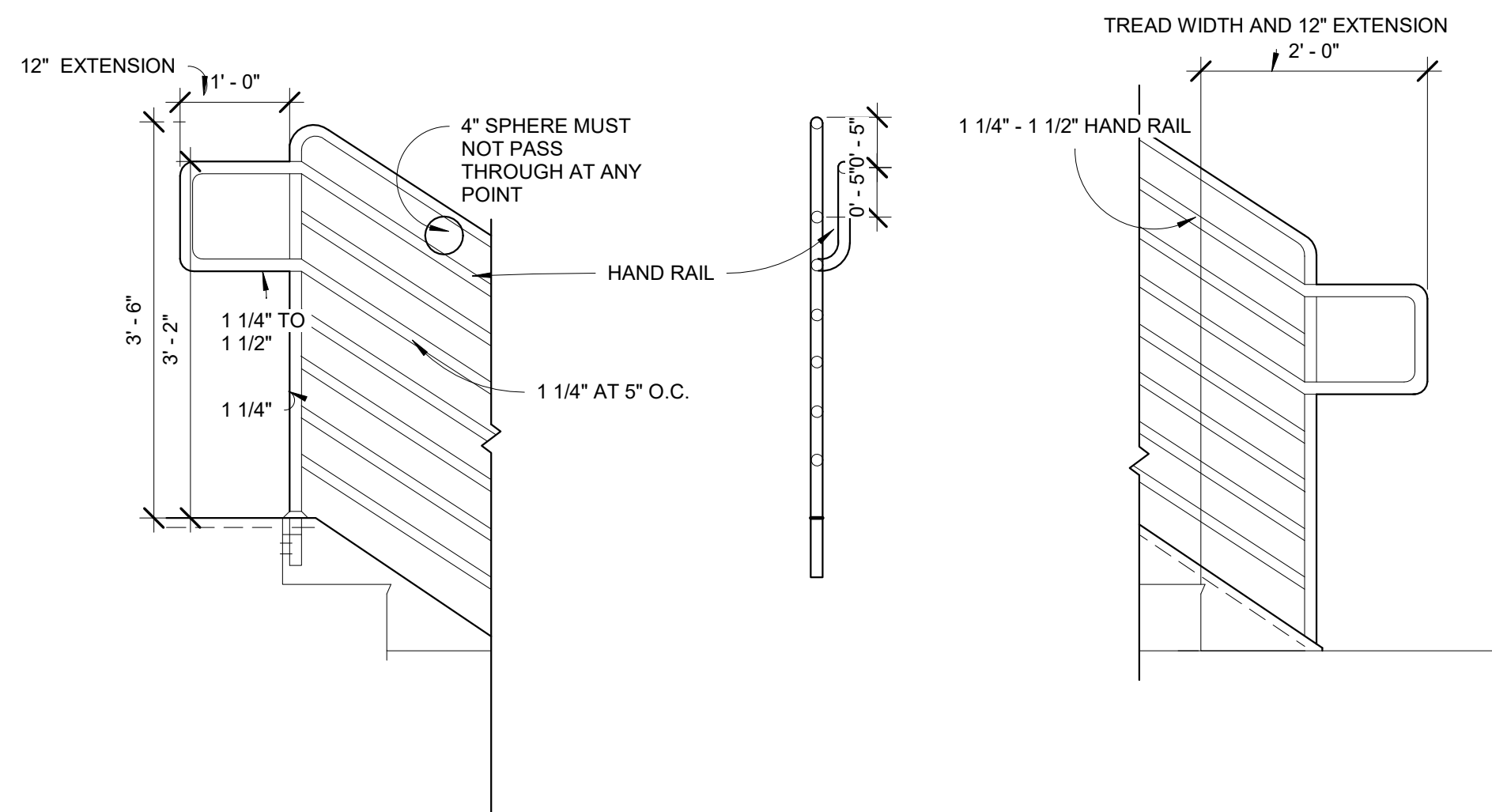
6 PILOT HOUSE CONNECTION DETAIL  
1 1/2" = 1'-0"



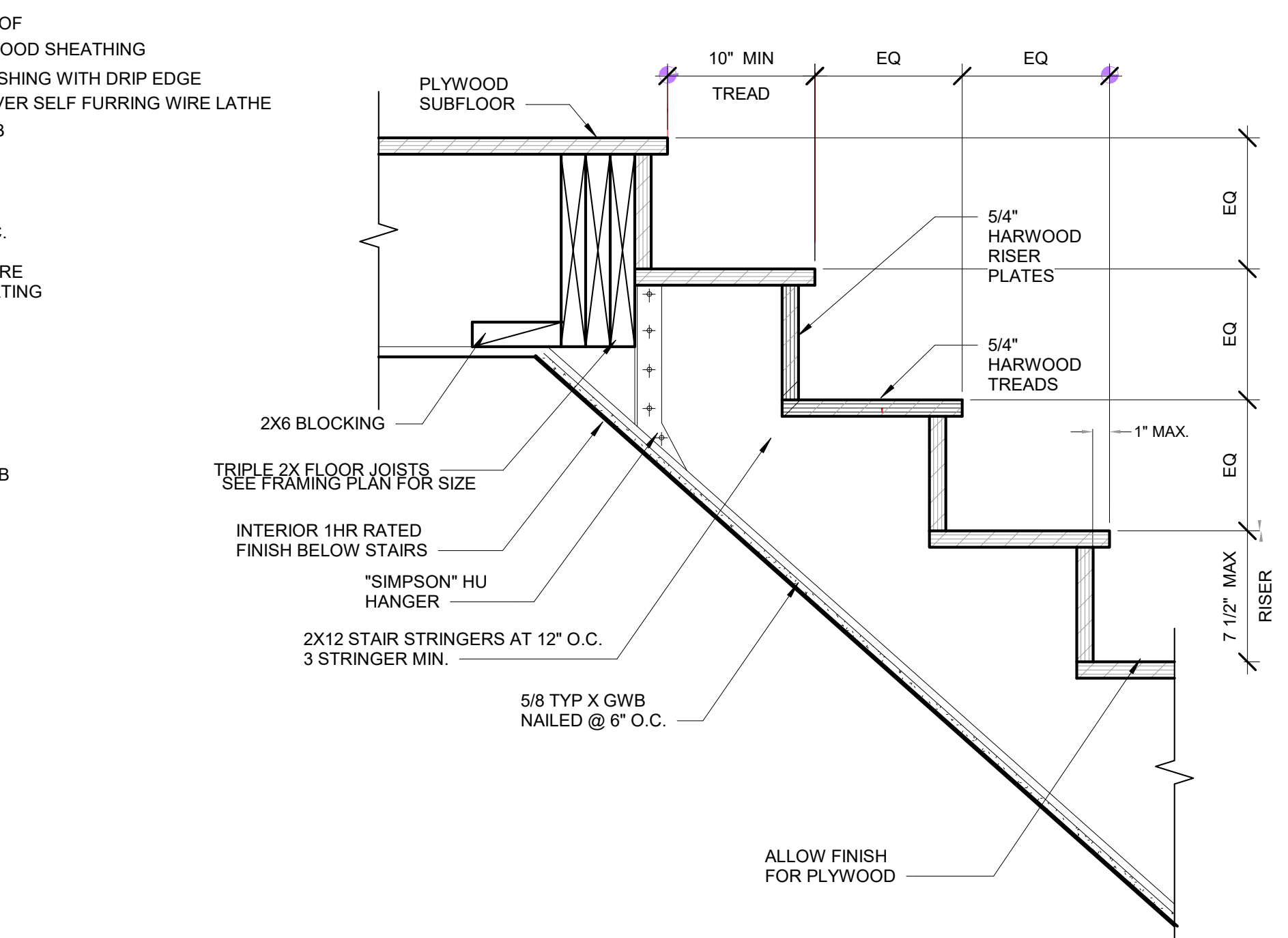
3 LEDGERBOARD @ EXISTING WALL  
1 1/2" = 1'-0"



1 PILOT HOUSE DETAIL  
3/4" = 1'-0"



7 METAL RAILING DETAIL  
3/4" = 1'-0"

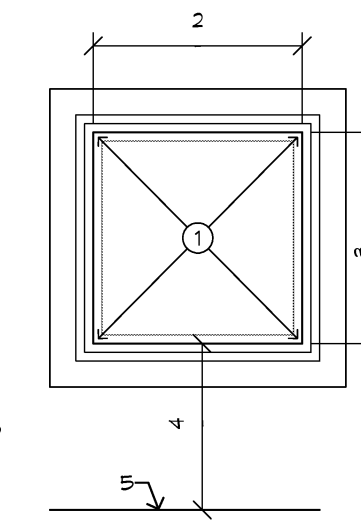


4 INTERIOR STAIR DETAIL  
1/4" = 1'-0"

**EGRESS WINDOW REQUIREMENTS**

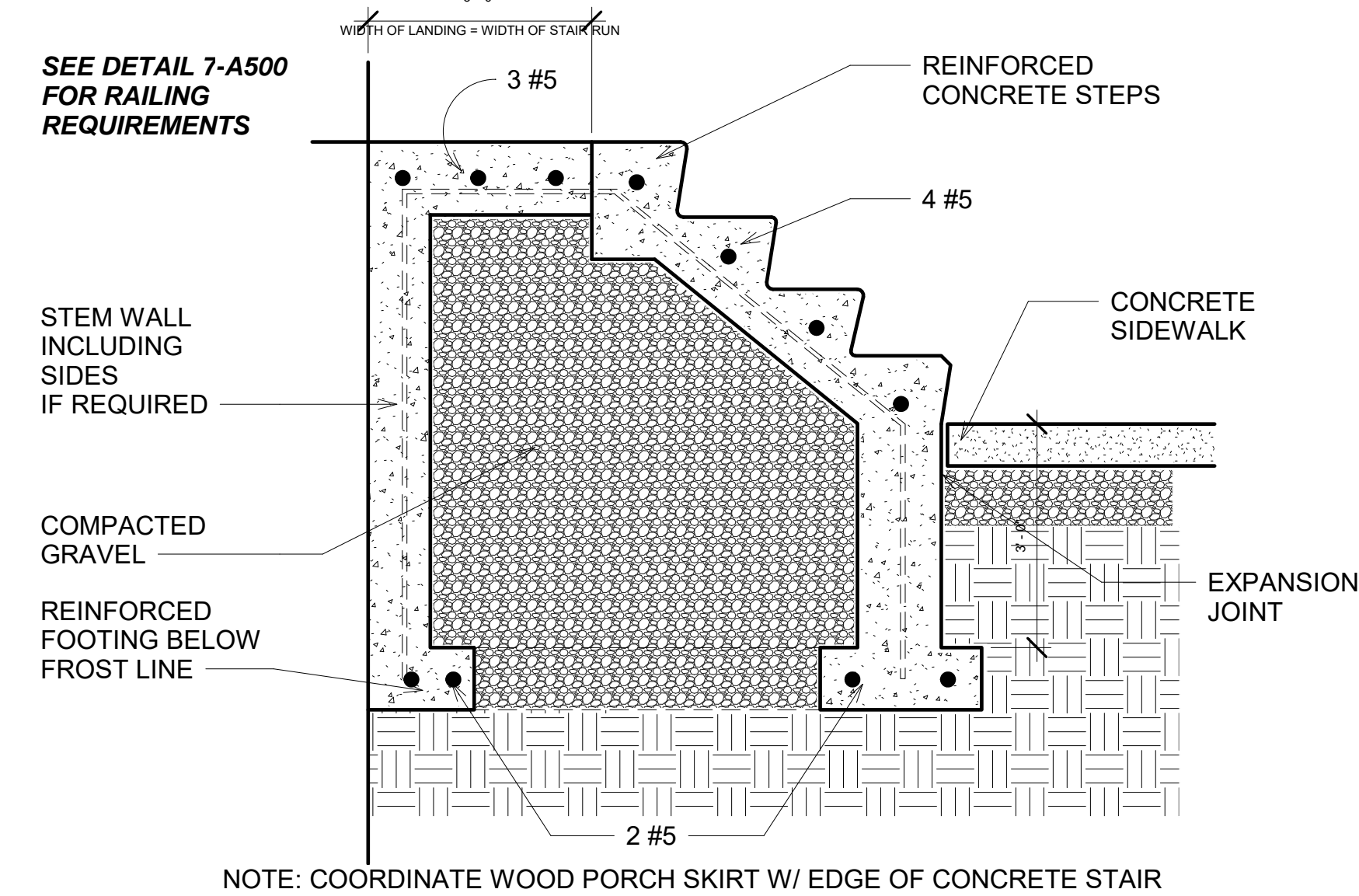
- BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY RESCUE OPENING. THE REQUIRED EMERGENCY AND RESCUE OPENING IN THE BEDROOMS LOCATED IN THE BASEMENT, SATISFIE THE REQUIREMENT OF THE BASEMENT HAVING AND EMERGENCY AND RESCUE OPENING.
- THE BOTTOM STILL OF EGRESS WINDOWS SHALL BE NO MORE THAN 44" ABOVE THE FINISHED FLOOR HEIGHT.
- EGRESS WINDOWS SHALL HAVE A CLEAR OPENING, MEASURED WHEN THE OPERABLE PART OF THE WINDOW IS COMPLETELY OPEN, OF 5.7 SQUARE FEET AND MEETING THE FOLLOWING MINIMUM DIMENSIONS: WINDOWS WITH A BOTTOM STILL HEIGHT OF NO MORE THAN 44" ABOVE GRADE
- CONTRACTOR TO PROVIDE WINDOWS THAT MEETS THE MINIMUM REQUIREMENTS FOR ANY (EGRESS) WINDOW NOTED ON PLANS.

- MINIMUM EGRESS WINDOW CLEAR OPENING AREA= 5.7 S.F. (LINE OF CLEAR OPENING @ FULLY OPEN POSITION).
- MINIMUM CLEAR WIDTH = 20".
- MINIMUM CLEAR HEIGHT = 24".
- MAXIMUM FINISHED WINDOW SILL HEIGHT ABOVE FINISHED FLOOR = 44".
- FINISH FLOOR.

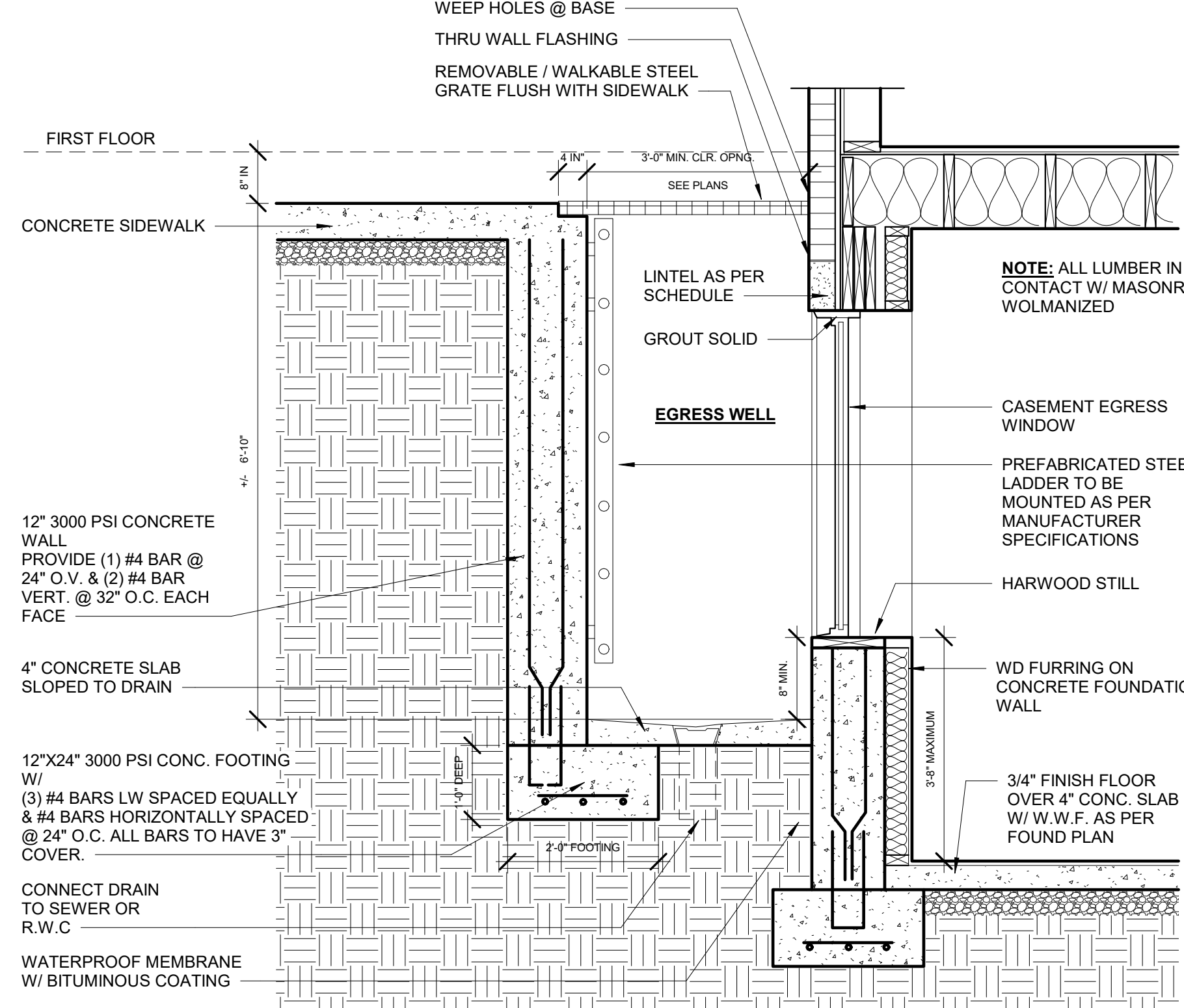


2 EGRESS WINDOW  
1 1/2" = 1'-0"

SEE DETAIL 7-A500 FOR RAILING REQUIREMENTS



8 EXTERIOR STEPS SECTION  
1/2" = 1'-0"



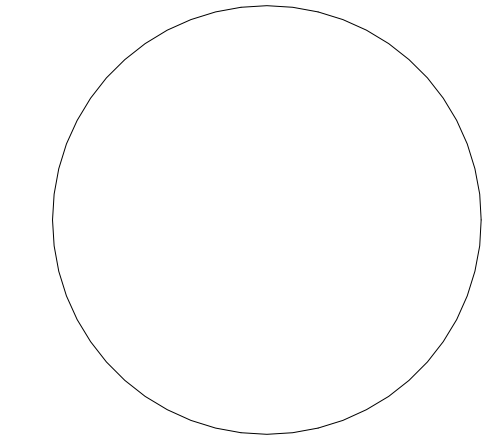
5 EGRESS WELL @ SIDEWALK  
1/2" = 1'-0"



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**Universal Builders**

No.	Description	Date

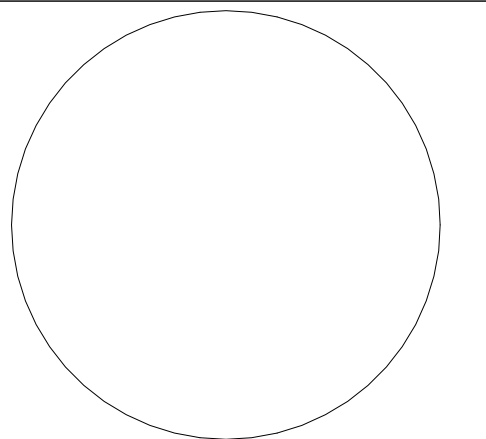
2661 E Huntingdon

**DETAILS**

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker

**A-500**

Scale As indicated



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Universal Builders

No.	Description	Date
2	Comment Letter	Date 2

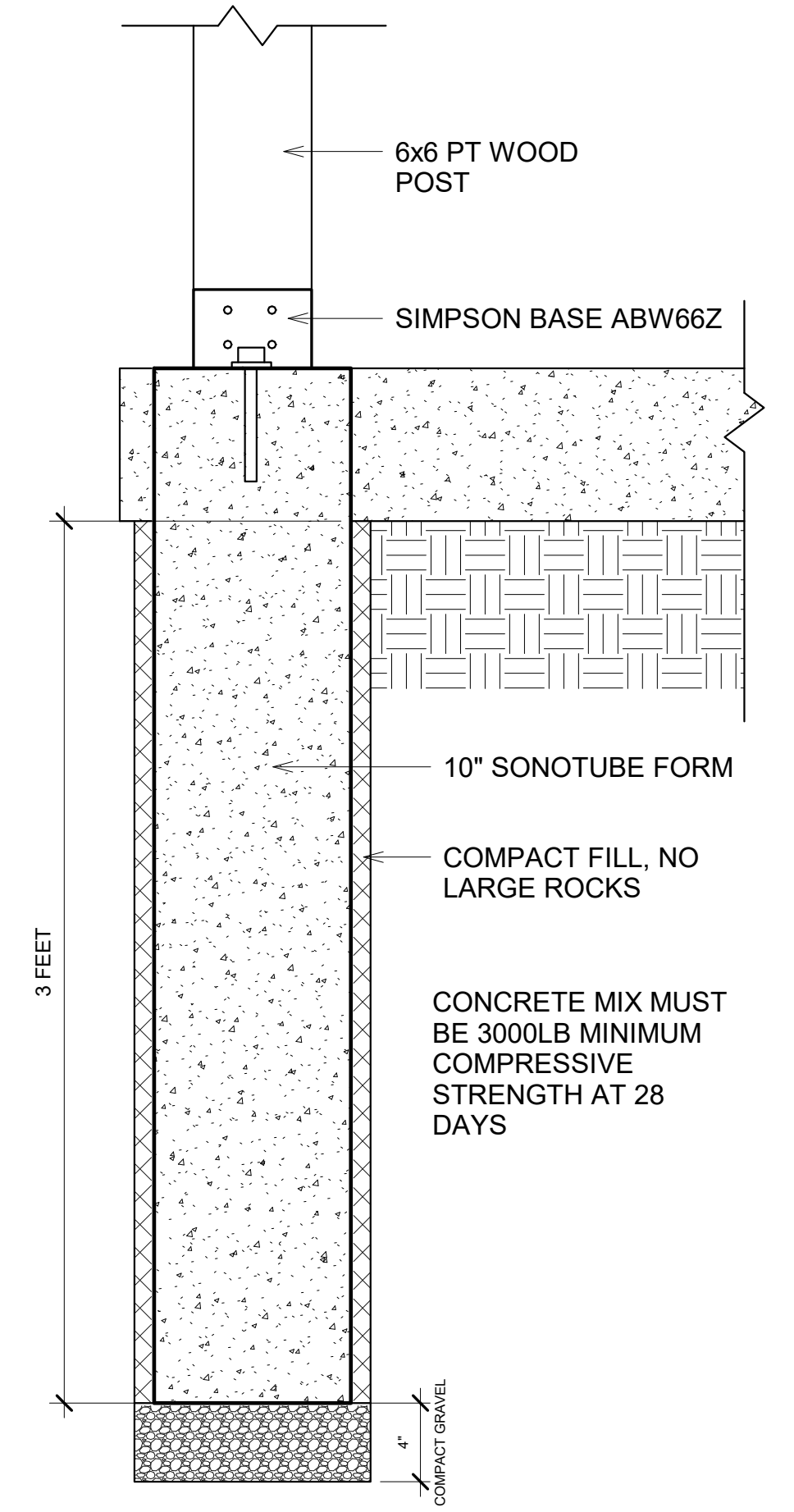
2661 E Huntingdon

**DETAILS**

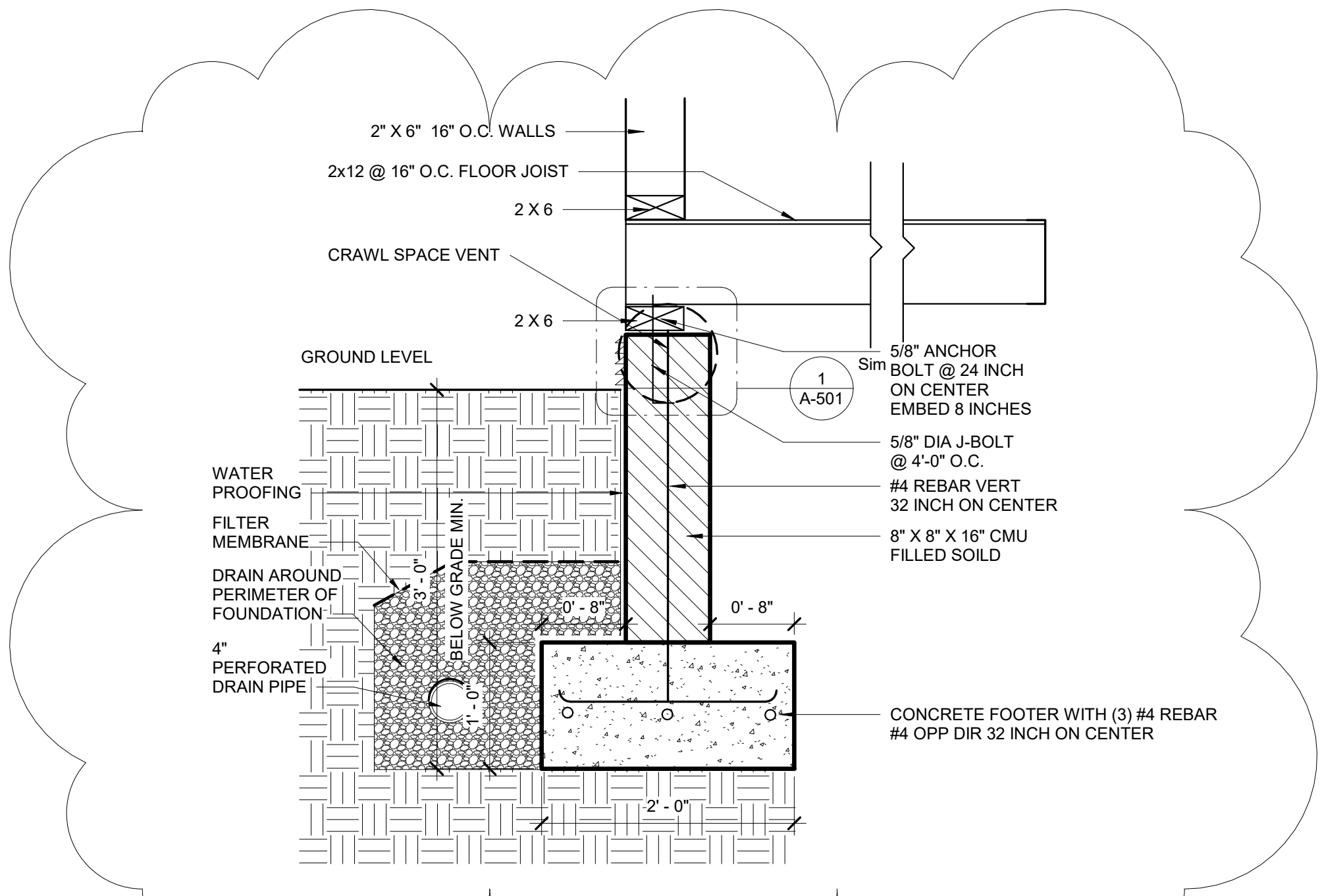
Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	Author
Checked by	Checker

**A-501**

Scale As indicated



**4 SONOTUBE DETAIL**  
1 1/2" = 1'-0"



**2 FOOTING @ CRAWLSPACE DETAIL**  
1" = 1'-0"

**SMART VENT® - Model: 1540-510**

Model #: 1540-510  
Installation Type: Masonry Wall  
Style: Louvered  
Dimensions: 16" x 8"  
Rough Opening: 18 1/2" x 8 1/2" (one block, or CMU)  
Finish: Stainless Steel (Standard)

**Available Powder Coat Colors for Special Order:**  
White, Wheat, Grey, Black, Stainless (standard)

**Optional Accessories:**  
Fire Damper, Interior Trim Flange & Inner Sheave, Rain Shield

**Other Models Available:** Insulated FLOOD VENT, Overhead Garage Door Model, Stacked and Quad Configurations, Models for Wood Shuttered Wall Applications and Four in Place Buck Systems.

There's more online at [www.smartvent.com](http://www.smartvent.com)  
Dealer Locator, Installer Locator, CAD Drawings, Installation Instructions, Technical Specifications, Frequently Asked Questions, Videos, Testimonials, Resource Library Database, Insurance Forms.

**How it works:**  
Flood Protection: The SMART VENT® door is latched closed until flood water enters. Entering flood water lifts the patented internal floats which unlatches and rotates the door open. This allows the flood water to automatically enter and exit through the frame opening, relieving the pressure from your foundation walls.

Ventilation: A thermal coil like a thermostat, no electricity is needed! automatically opens and closes the ventilation louvers as temperature changes. They will be closed when it is freezing outside and open when it is warm outside to provide natural ventilation.

**Important note:** SMART VENT® does not rely on the louvers to let floodwater in and out. Regardless of the louvers' position, opened or closed, when floodwater flows into the door, the internal floats release the door to rotate open to relieve the hydrostatic pressure. The louvers and pest screen are rotated out of the path of the floodwater. The temperature-controlled louvers are for ventilation purposes only.

**How does one SMART VENT® provide so much coverage?**  
You may have heard that FEMA requires that flood openings provide one square inch of opening per one square foot of enclosed area, referring to dimensions of the opening in proportion to the space to be vented. This is only partially correct. FEMA's regulations and guidelines do state that a non-engineered flood vent solution must (among other requirements) provide one square inch of opening per square foot of enclosed area to be vented. However, all SMART VENT® products are ICC-ES certified engineered openings. They have been designed, engineered, tested, rated, and certified to provide flood relief so efficiently that only one unit is needed for 200 square feet of enclosed area. It would be our pleasure to contact your code official, surveyor, or insurance agent if they require more information.

[www.smartvent.com](http://www.smartvent.com) • 877-441-8368

**SMART VENT® - Model: 1540-510**

**Dual Function SMART VENT®**  
Superior Flood Protection and Natural Air Ventilation

ICC-ES Evaluated and FEMA Accepted Foundation Flood Vents

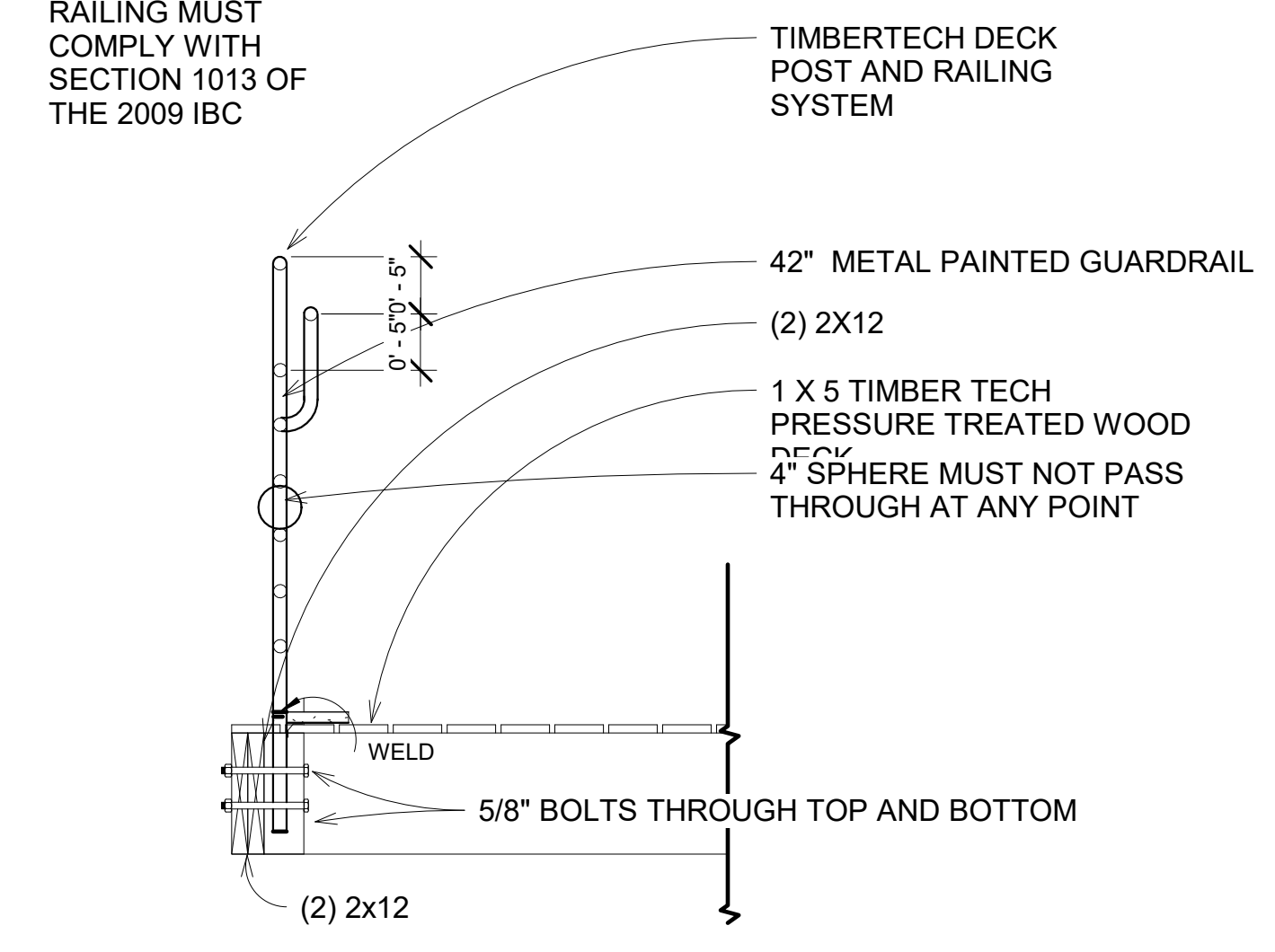
- Potential savings on homeowner's NFIP premiums
- Preserves aesthetic beauty of a home by requiring 22 less vents
- Each vent certified to protect 200 sq. ft. of your home
- Code Compliant, FEMA accepted, ICC-ES Evaluated
- All Stainless Steel construction meets or exceeds flood and corrosion resistance code requirements
- Patented automatic floats release bi-directional flood door
- Temperature controlled louvers automatically open in warm weather and close in cold weather

The 16" x 8" vent is certified to cover 200 square feet of enclosed area for flood protection and 51 square inches for ventilation.

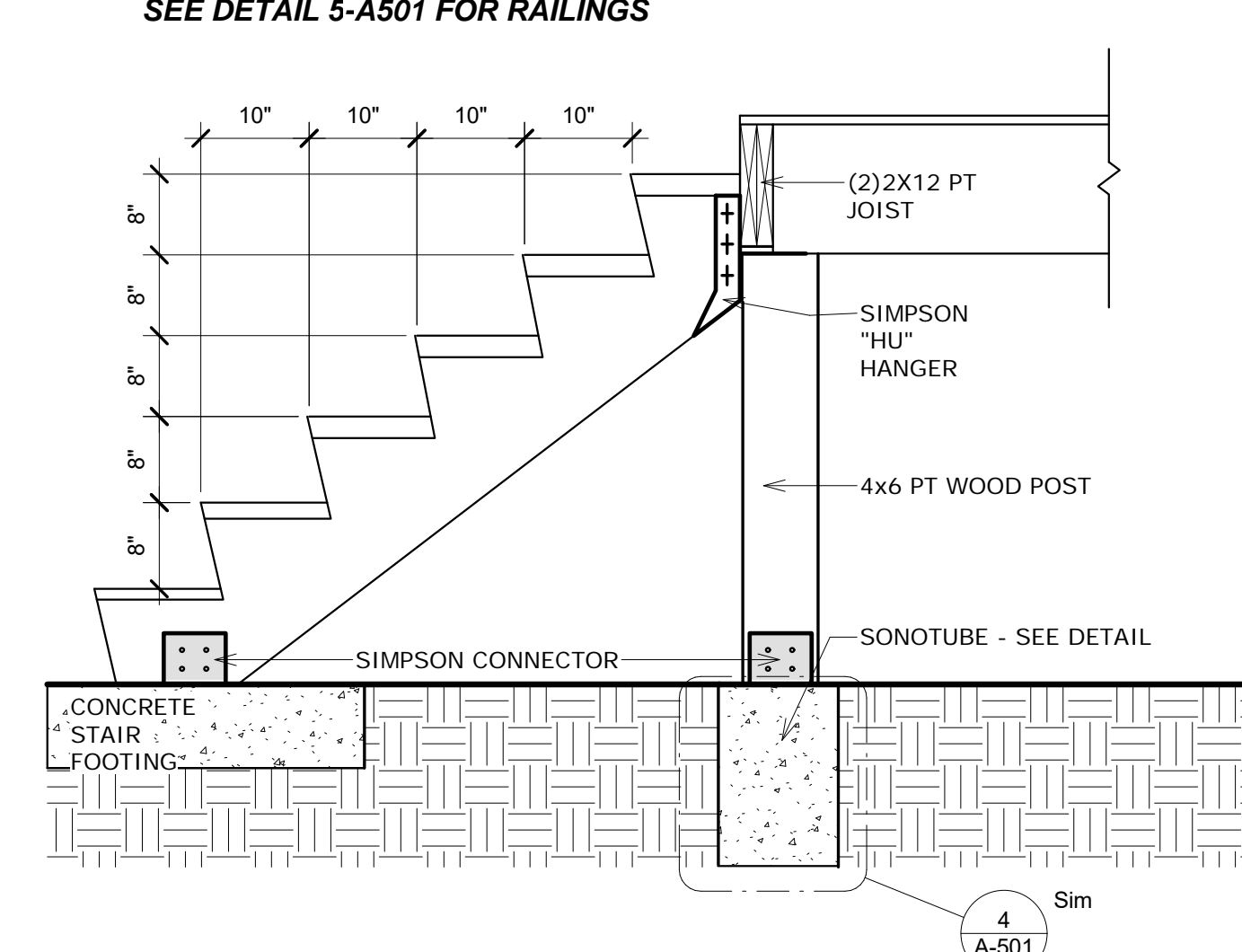
SMART VENT® models are certified to provide flood protection and ventilation. This model is used for a home with a crawl space or any enclosed area that desires natural air ventilation and flood protection. All stainless steel construction resists weather and pest.

**SMART VENT**  
[www.smartvent.com](http://www.smartvent.com) • 877-441-8368

**1 CRAWLSPACE VENT SPECS**  
12" = 1'-0"



**5 GUARDRAIL @ WOOD DECK**  
3/4" = 1'-0"

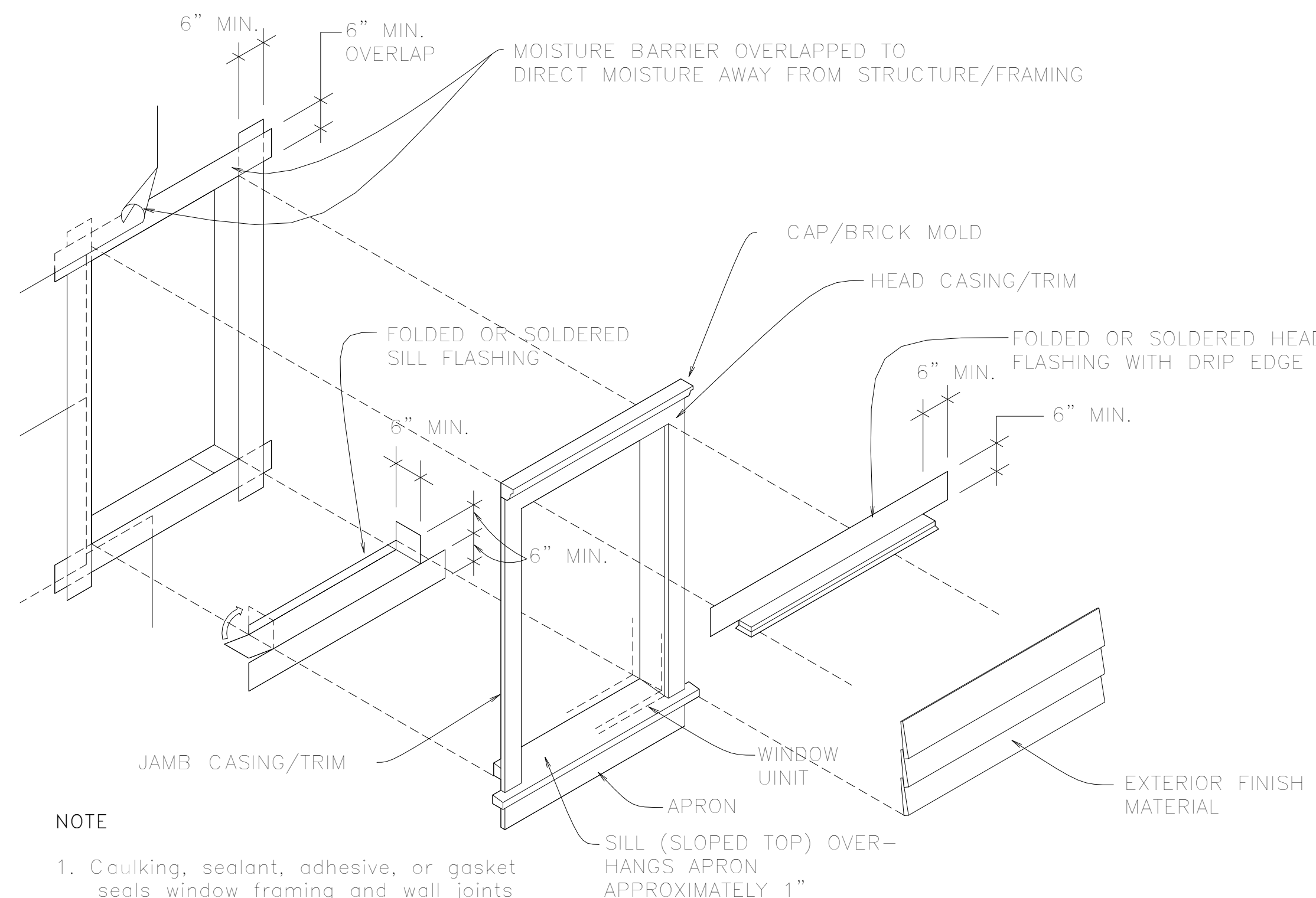


**3 WOOD STAIRS @ REAR**  
3/4" = 1'-0"

Door Schedule		
Door Number	Door Size	Finish
		Comments
CELLAR		
B02	34" x 80"	
B03	60" x 80"	
FIRST FLOOR		
101	36" x 84"	
102C	34" x 84"	
B01	34" x 84"	
104	34" x 84"	
101C	34" x 80"	
103C	34" x 80"	
103	32" x 84"	
SECOND FLOOR		
202C	60" x 84"	
202	36" x 84"	
203C	60" x 84"	
204	34" x 80"	
203	34" x 80"	
THIRD FLOOR		
302	34" x 80"	
303	60" x 84"	
301C	60" x 84"	
ROOF		
R01	36" x 84"	

WINDOW SCHEDULE						
NUMBER	TYPE	DESCRIPTION	UNIT DIMENSIONS			REMARKS
			HEIGHT	WIDTH	SILL HGT.	
CELLAR						
314	35		2'-0"	3'-0"	5'-0"	
315	35		2'-0"	3'-0"	5'-0"	
316	94	EGRESS	5'-0"	3'-0"	2'-2"	
FIRST FLOOR						
271	76		5'-0"	3'-0"	2'-2"	
321	34		6'-0"	2'-0"	1'-10"	
322	34		6'-0"	2'-0"	1'-10"	
323	34		6'-0"	2'-0"	1'-10"	
325	34		6'-0"	2'-0"	1'-10"	
329	76		5'-0"	3'-0"	3'-0"	
334	34		6'-0"	2'-0"	1'-10"	
335	34		6'-0"	2'-0"	1'-10"	
SECOND FLOOR						
280	95	EGRESS	5'-0"	2'-0"	2'-0"	
288	94	EGRESS	5'-0"	3'-0"	2'-2"	
292	94	EGRESS	5'-0"	3'-0"	2'-2"	
293	94	EGRESS	5'-0"	3'-0"	2'-2"	
294	76		5'-0"	3'-0"	2'-2"	
295	76		5'-0"	3'-0"	2'-2"	
300	95	EGRESS	5'-0"	2'-0"	2'-0"	
303	95	EGRESS	5'-0"	2'-0"	2'-0"	
330	94	EGRESS	5'-0"	3'-0"	3'-0"	
331	94	EGRESS	5'-0"	3'-0"	3'-0"	
THIRD FLOOR						
289	76		5'-0"	3'-0"	2'-2"	
304	95	EGRESS	5'-0"	2'-0"	2'-0"	
307	76		5'-0"	3'-0"	2'-2"	
308	76		5'-0"	3'-0"	2'-2"	
309	95	EGRESS	5'-0"	2'-0"	2'-0"	
310	95	EGRESS	5'-0"	2'-0"	2'-0"	
332	94	EGRESS	5'-0"	3'-0"	2'-2"	
333	94	EGRESS	5'-0"	3'-0"	2'-2"	

ROOM FINISH SCHEDULE							
ROOM NUMBER	ROOM NAME	FLOOR FINISH	BASE FINISH	WALLS FINISH	CEILING FINISH	AREA	REMARKS
CELLAR							
B01	FAMILY ROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	304 SF	
B02	PWDR RM	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	23 SF	
B03	MECH.	EXPOSED	NONE	EXPOSED	EXPOSED	17 SF	
Crawlspace							
C01	CRAWLSPACE	EXPOSED	NONE	EXPOSED	EXPOSED	165 SF	
FIRST FLOOR							
101	LIVING ROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	167 SF	
101C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	6 SF	
102	KITCHEN	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	183 SF	
102C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	16 SF	
103	PLAYROOM	CARPET	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	122 SF	
103C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	6 SF	
104	PWDR RM	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	21 SF	
SECOND FLOOR							
201	DEN	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	227 SF	
202	BEDROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	181 SF	
202C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	17 SF	
203	BEDROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	104 SF	
203C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	15 SF	
204	BATH	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	48 SF	
THIRD FLOOR							
300	HALL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	244 SF	
301	MASTER BEDROOM	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	229 SF	
301C	CL	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	27 SF	
302	MASTER BATH	CERAMIC TILE	CERAMIC	GYPSUM - PAINT	GYPSUM - PAINT	80 SF	
303	LAUNDRY	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	41 SF	
ROOF							
314	PILOT HOUSE	HARDWOOD	WOOD	GYPSUM - PAINT	GYPSUM - PAINT	43 SF	



NOTE

1. Caulking, sealant, adhesive, or gasket seals window framing and wall joints to form air barrier.
2. These principles are also applicable to door weatherproofing.

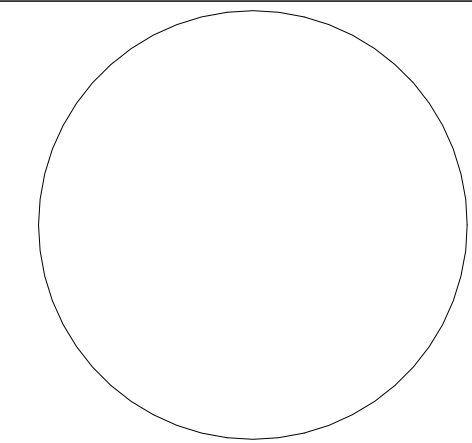
① DOOR/WINDOW FLASHING  
1/2" = 1'-0"



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**Universal Builders**

No.	Description	Date

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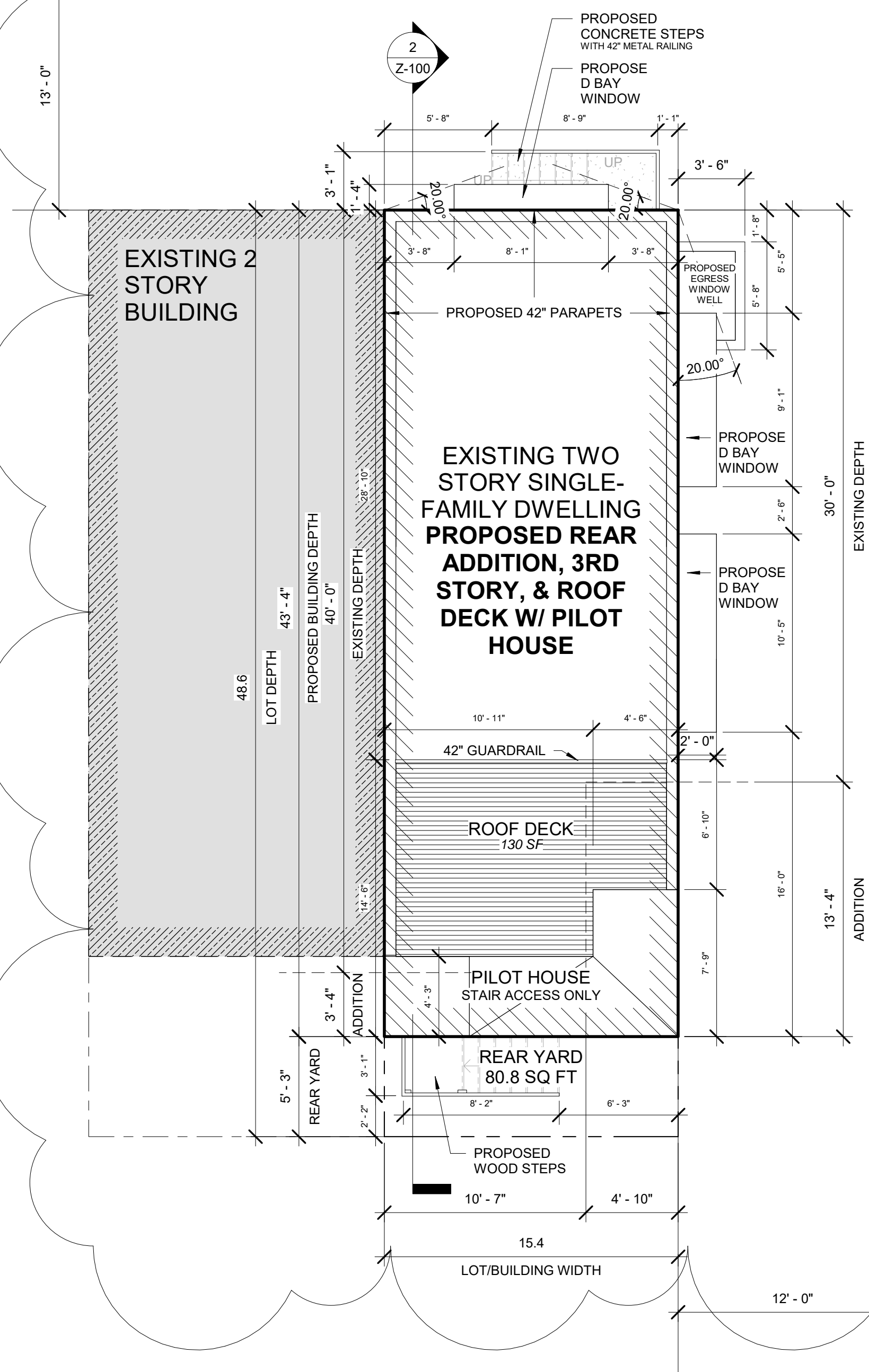
**SCHEDULES & DIAGRAMS**

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	-
Checked by	Checker

**A-600**

Scale 1/2" = 1'-0"

**EAST HUNTINGDON STREET**  
13' SIDEWALK 34' CARTWAY 13' SIDEWALK



1 ARCHITECTURAL SITE PLAN  
3/16" = 1'-0"

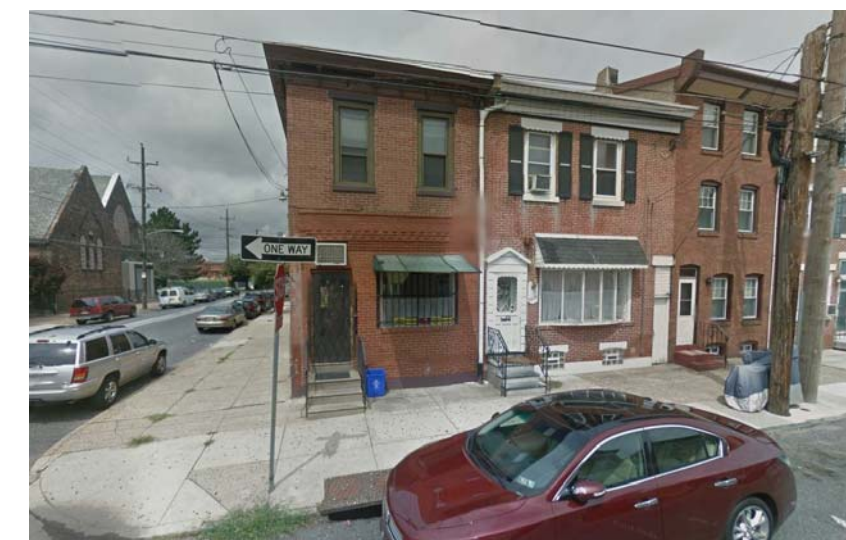
AERIAL VIEW



VIEW FROM INTERSECTION



EAST HUNTINGDON STREET



STREET VIEW

EDGEMONT STREET



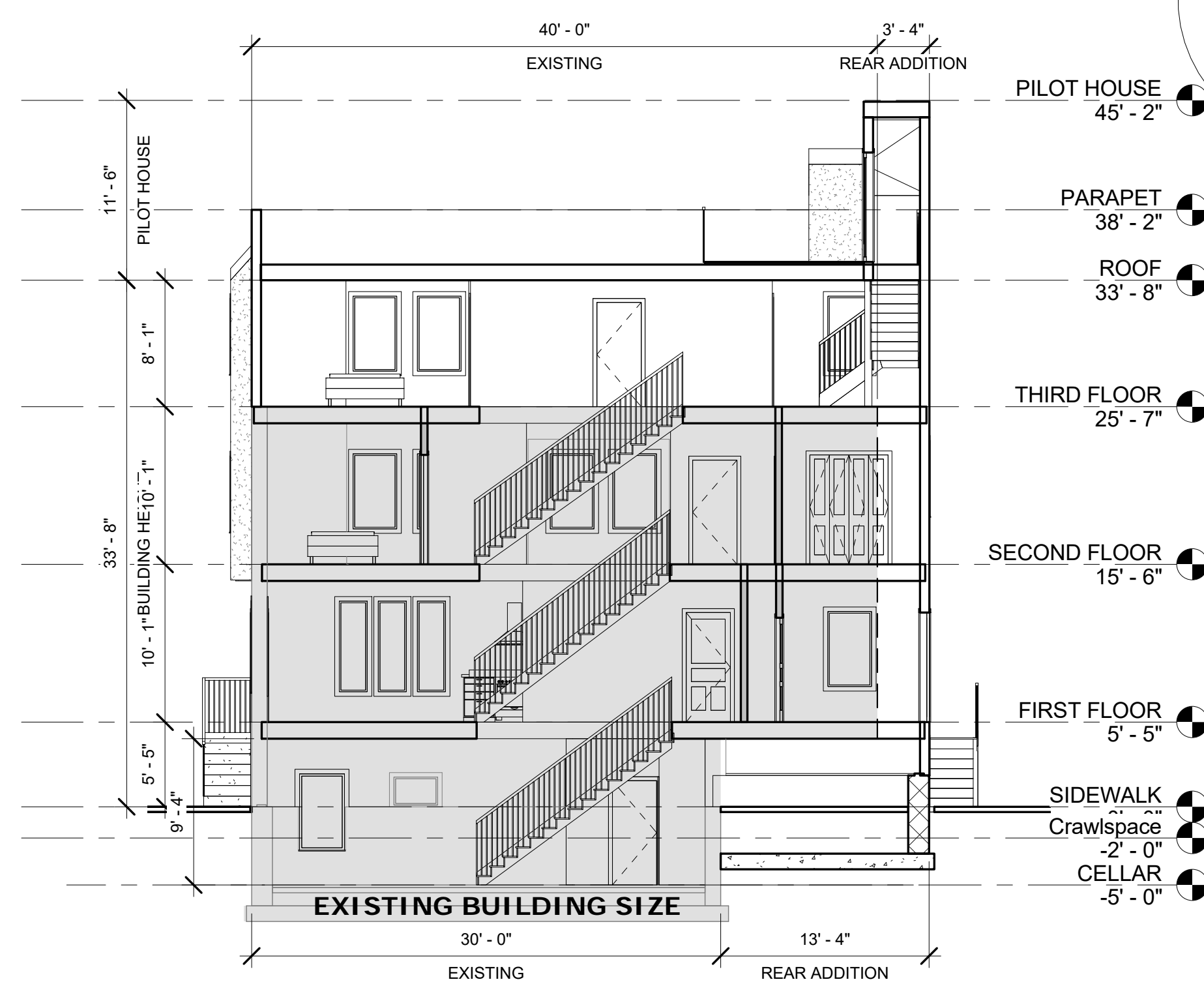
STREET VIEW



SIDEWALK CONDITIONS



SIDEWALK CONDITIONS



2 SECTION  
1/8" = 1'-0"

Property Schedule			
Parcel No.	Address	Area	Proposed
871541650	2661 EAST HUNTINGDON STREET	748 SF	ADDITIONS & ROOF DECK

**CMX-2**  
PREVIOUS DISTRICT NAME - C1  
2661 EAST HUNTINGDON STREET

**PERMITTED BUILDING TYPE**  
SMALL SCALE NEIGHBORHOOD COMMERCIAL AND RESIDENTIAL MIXED USE

**USES PERMITTED AS OF RIGHT:**  
HOUSEHOLD LIVING; PASSIVE RECREATION; FAMILY DAY CARE; LIBRARIES AND CULTURAL EXHIBITS; RELIGIOUS ASSEMBLY; SAFETY SERVICES; TRANSIT STATION; UTILITIES AND SERVICES; BASIC BUILDING OR TOWER-MOUNTED ANTENNA; BUSINESS; PROFESSIONAL OFFICE; MEDICAL, DENTAL, HEALTH SOLE PRACTITIONER; GOVERNMENT OFFICE; BUILDING SUPPLIES AND EQUIPMENT; CONSUMER GOODS (EXCEPT DRUGS, PARAPHENALIA AND GUNS); FOOD, BEVERAGES, AND GROCERIES; PETS AND PET SUPPLIES; SUNGUNS; PHARMACEUTICALS, AND CONVENIENT SALES; WEARING APPAREL AND ACCESSORIES; ANIMAL SERVICES; BUSINESS SUPPORT; FINANCIAL SERVICES (EXCEPT PERSONAL CREDIT ESTABLISHMENTS); MAINTENANCE AND REPAIR OF CONSUMER GOODS; ON-PREMISE DRY CLEANING; PERSONAL SERVICES (EXCEPT BODY ART AND FORTUNE TELLING SERVICES); COMMUNITY GARDEN; MARKET OR COMMUNITY-SUPPORTED FARM.

	REQUIRED	PROPOSED
<b>LOT DIMENSIONS</b>		
MIN. LOT WIDTH (FT)		15.4' EXISTING
MIN. LOT AREA (SQ FT)		748 SF EXISTING
MAX. OCCUPIED AREA (% OF LOT)	INTERMEDIATE: 75%; CORNER: 80%	89.2%

FRONT SETBACK	
MINIMUM (FT)	0 FT EXISTING

MINIMUM SIDE YARD WIDTH (6) AS SET FORTH IN 14-701		
DETACHED, INTERMEDIATE (FT)	5 FT EACH, IF USED	N/A
DETACHED, CORNER (FT)	5 FT, IF USED	N/A
SEMI-DETACHED (FT)		
ATTACHED (FT)		

REAR YARD	
MIN. DEPTH (FT)	THE GREATER OF 9 FT OR 10% OF LOT DEPTH
	5' - 3"

HEIGHT	
MAXIMUM (FT)	38 FT

OPEN SPACE SQUARE FOOTAGE	
REAR YARD (SQ FT)	80.8 SF
SIDE YARD (SQ FT)	N/A
FRONT YARD (SQ FT)	N/A
BUILDING FOOTPRINT (SQ FT)	667.2 SF

BUILDING USE	
	SINGLE-FAMILY EXISTING

**STREETS DEPARTMENT**

RIGHT OF WAY 2661 EAST HUNTINGDON STREET

**STREET BREAK-DOWN: EAST HUNTINGDON STREET**  
13' SIDEWALK - 34' CARTWAY - 13' SIDEWALK = 60 FT WIDE

**STREET BREAK-DOWN: EDGEMONT STREET**  
12' SIDEWALK - 26' CARTWAY - 12' SIDEWALK = 50 FT WIDE

	ENCROACHMENT TYPE		DIMENSION
	PROPOSED / EXISTING	ENCROACHMENT	
<b>EAST HUNTINGDON STREET</b>			
STAIRS / STEPS	PROPOSED		3' - 1"
BAY WINDOW	PROPOSED		1' - 4"
<b>EDGEMONT STREET</b>			
WINDOW WELL	PROPOSED		3' - 6"
BAY WINDOW	PROPOSED		2' - 0"

MAXIMUM ENCROACHMENT ALLOWED: 4'-06"

**ZONING APPROVAL STAMP**

**BUILDING APPROVAL STAMP**



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Universal Builders

No.	Description	Date
3	ZBA ADMIN REVIEW	12/01/16

2661 E Huntingdon

ZONING

Project number	Project Number
Date	Progress Print 01.29.15
Drawn by	Author
Checked by	Checker

**Z-100**

Scale As indicated